



# Memo

**To:** Town Council

**From:** Anthony Wilson, Town Manager

**Meeting date:** April 1, 2024

**Re:** Library elevator contract

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In response to the Town's Request for Proposals (RFP) for an elevator replacement at the Bailey Public Library, the Town received one proposal – from H.E. Callahan Construction. (See attached.) Callahan's bid is \$199,400 -- \$600 less than was budgeted, not including an additional \$20,000 earmarked for contingencies.

Callahan will remove the current lift and replace it with new equipment. The project is scheduled to be completed in the fall. The project's architect endorses Callahan as a reputable contractor and one of the companies he would recommend for the project.

We recommend approval of the contract.

# REQUEST FOR PROPOSAL



## LIFT RENOVATION FOR THE BAILEY PUBLIC LIBRARY IN WINTHROP, ME

December 18, 2023

### 1. Summary

- a. Introduction. The Town of Winthrop is currently accepting proposals for your services on the lift renovation at the Bailey Public Library in Winthrop, ME.

The desired completion date for the project is October 1, 2024. Alternate completion dates may be considered with town approval.

- b. Purpose. The purpose of this Request for Proposal (RFP) is to solicit proposals from various candidates, conduct a fair evaluation based on the prescribed criteria, and select the candidate(s) who is/are the best fit for the project. The Town of Winthrop reserves the right to award contract(s) as it sees fit and to the bidder or bidders of its choosing when and how it deems appropriate.

### 2. Nature and Scope of Work

- a. The purpose of this project is as follows:  
To replace an existing, not operable, two-story lift with a new lift to provide an accessible route between the different levels of the library
- b. Project Description:  
Removal of the existing lift, demolition as needed, new framing as needed and the installation of the new lift per specifications.

- c. The scope of this project includes:

Refer to drawing set in following pages for more information.

- Removal of existing lift.
- Demolition of wall structure and finish as annotated.
- Demolition of floor structure and finish as annotated.
- Framing of new walls as annotated and finish to match existing wall finish.
- Framing of new floor structure as annotated and finish to match existing ceiling and floor finish.
- Installation of new lift per manufacturer specification.

(LU/LA ORION MODEL 4853-1L)

- d. Location: 39 Bowdoin St, Winthrop, ME 04364

### 3. Selection Criteria

All offer submissions that meet the requirements of this RFP and are submitted by the deadline will be considered based upon the materials provided. The following criteria will be used for selecting the winning bid(s):

- a. Use of correct format
- b. The proposal's ability and likelihood of achieving the desired outcome of the project
- c. Past performance of bidder's similar services
- d. The experience and expertise of the bidder's management and staff
- e. The proposed budgeted costs of the project.

The Town of Winthrop reserves the right to suspend or reject acceptance of any and all proposals at any time as it sees fit, for any reason, without notice or obligation to any bidder.

### 4. Bidder Qualifications

Bidders should provide the following items as part of their proposal for consideration:

- a. Description of relevant experience
- b. List, title, and employment status of your organization's management and employees
- c. References, testimonials, or samples of your work (as applicable)
- d. Resources you will assign to this project (number, title, experience)
- e. Full plan of action
- f. Timeframe for project completion
- g. Project management methods and details

### 5. Required Format. Proposal should be in the following format and address, in detail, the needs and requirements of the proposed project.

- a. Contact Information. Provide the name, title, phone number, and email for the best contact for follow up questions and/or to notify of bid status.
- b. Summary & Qualifications. Use this section to introduce yourself, your company, and provide information on your relevant experience and qualifications.
- c. Methods and Plan. Describe your methodology and capabilities for meeting project deliverables and detail your plan of action for executing and completing this project. Include a detailed milestone timeline in this section.
- d. Expectations and Results. Explain your expectations for the project and summarize the results you anticipate achieving. Include a summary of your anticipated timeline for completion in this section.
- e. Management and Staff. List all applicable personnel that would be involved with this project, along with their titles, roles, and qualifications.
- f. Communications. The Town representative for this project is Richard Fortin ([rfortin@baileylibrary.org](mailto:rfortin@baileylibrary.org)), he is to be kept apprised of progress and developments throughout the project. Provide an overview for how your project team intends to communicate to ensure timely progress and completion of the project. (ie. Weekly

meetings and benchmark discussions with project managers and owners' representatives)

- g. Budget and Costs. Provide a detailed breakdown of all anticipated expenses, as well as a summary of the total proposed costs of the project. This includes but not limited to: the estimated costs associated with all personnel, all necessary equipment and associated costs, and any outsourced or contracted work.
- h. Licensing and Bonding. Bonding is required at an amount that meets or exceeds the value of construction project, include copies of your licensure and/or bond as applicable.
- i. Insurance. Provide details of your insurance coverage related to this project. Required limits are as follows;
  - i. Comprehensive General Liability
    - 1. Bodily injury - \$1,000,000 per occurrence
    - 2. Property damage - \$500,000 per occurrence
    - 3. General aggregate of all claims - \$4,000,000 per occurrence
    - 4. Products - \$4,000,000 per occurrence
  - ii. Comprehensive Automobile Liability
    - 1. Bodily injury - \$1,000,000 each occurrence
    - 2. Property damage - \$500,000 per occurrence
  - iii. Hire Non-Owned Auto Coverage – \$2,000,000 per occurrence
  - iv. Workers Compensation – \$1,000,000 per occurrenceAll of the insurance must be issued by an insurer licensed, authorized and maintaining an office to do business in Maine.
- j. References. Provide references for previous work of a similar nature.

## 6. Deliverables

Proposals will be accepted until March 1<sup>st</sup>, 2024. Any proposals received after this date and time will be returned to the submitting bidder. The proposal must be signed by an official agent or authorized representative of the bidder.

Any outsourced or contracted work is subject to the requirements of this RFP and must be clearly disclosed in the proposal. Any and all costs must be listed in the proposal, including any outsourced or contracted work. Proposals that include outsourced or contracted work must provide a name and description of the individuals and/or organizations being contracted. All costs must be itemized and include a detailed explanation of all fees and associated costs.

Terms and conditions will be negotiated upon selection of the winning bidder(s) and will be subject to review by the Town of Winthrop and/or its legal advisors, including but not limited to scope, costs, timeline, and anything else applicable to the project. Construction contract for project shall be AIA A101 and is to be provided by Contractor for Town's approval.

Send three (3) copies of project proposal using the following methods:

Via sealed mail marked:

Library Lift RFP  
Winthrop Town Office, Attn: Deb Nichols  
17 Highland Ave, Winthrop, ME 04364



## 7. Timelines

**RFP issued:** December, 2023

**Proposals in response due:** March 1<sup>st</sup>, 2024

**Opening of Bids (Open to the Public):** March 4<sup>th</sup>, 2024 (time to be established)

**Winning Bidder selected:** March 18<sup>th</sup>, 2024 (notification of selection to be March 19<sup>th</sup>, 2024)

Contract negotiations with the winning bidder will begin immediately following notification of selection.

**Contract negotiations:** to be completed by April 1<sup>st</sup>, 2024



PROJECT ADDRESS: 30 BOWDOIN STREET  
WINTHROP, ME 04364

BUILDING AUTHORITY: TOWN OF WINTHROP

BUILDING CODE: 2015 IBC

ZONING: N/A

HEIGHT LIMIT: N/A

SETBACKS: N/A

FRONT - N/A  
SIDE - N/A  
REAR - N/A

OVERLAY DISTRICTS: N/A

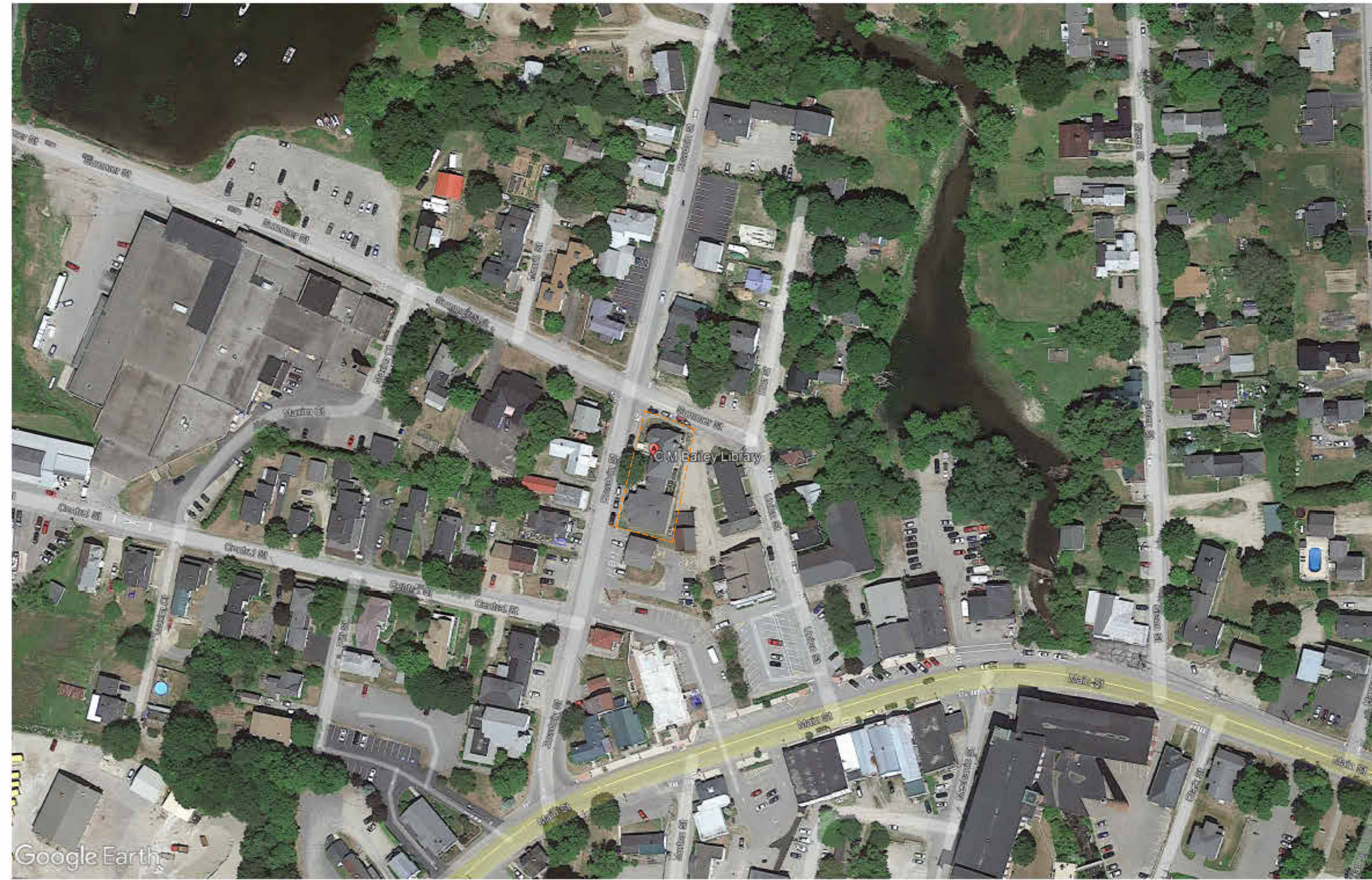
LOT SIZE: N/A

BUILDING FOOTPRINT: N/A

BUILDING SQUARE FOOTAGE: N/A

LOT COVERAGE: N/A

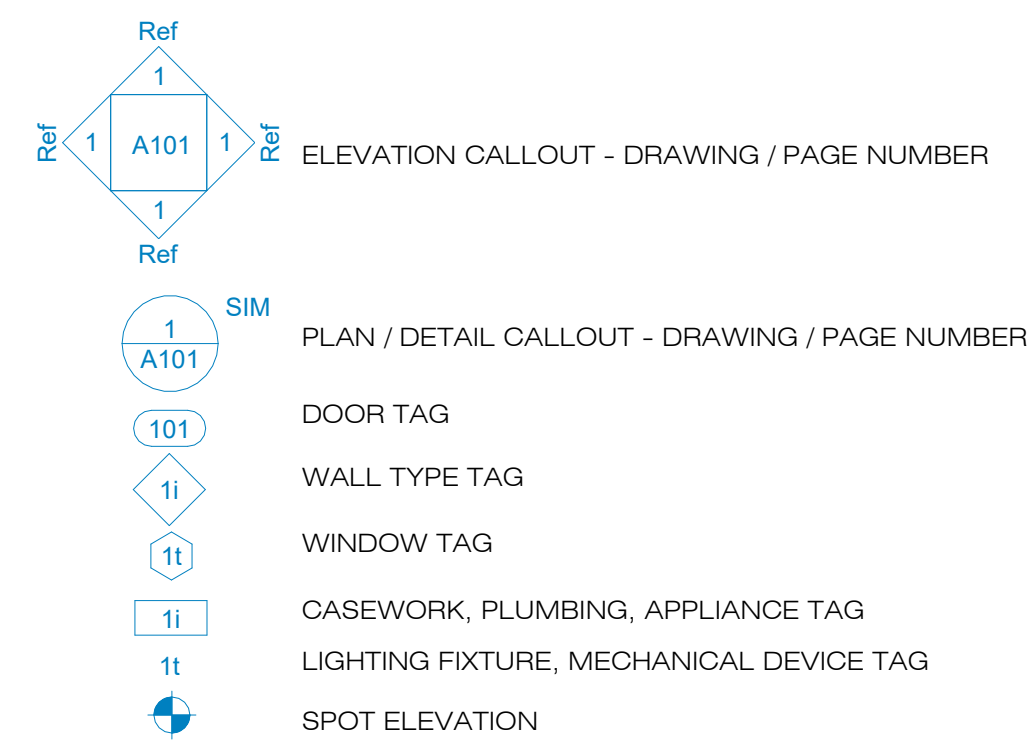
BUILDING HEIGHT: N/A



Sheet Number	Sheet Name
A000	Title Page
A100	Lower Level Existing & Demo Plans
A101	Upper Level Existing & Demo Plans
A102	Lower Level Proposed Plans
A103	Upper Level Proposed Plans
A501	Reflected Ceiling Plan & Floor Framing Plan
A601	Details & Sections

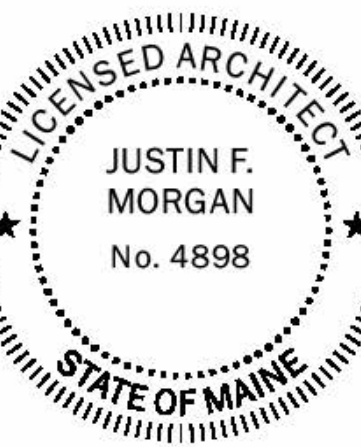
NOTES - GENERAL:

- ALL CONSTRUCTION TO ADHERE TO APPLICABLE LOCAL BUILDING CODE /OR EQUIVALENT JURISDICTIONAL GOVERNING CODE
- ALL ELECTRICAL WORK TO ADHERE TO LOCAL JURISDICTIONAL GOVERNING CODE
- ALL MECHANICAL WORK TO ADHERE TO LOCAL JURISDICTIONAL GOVERNING CODE
- UPON NOTIFICATION FROM THE ARCHITECT OF LOCAL BUILDING DEPARTMENT APPROVAL, UNLESS OTHERWISE AGREED UPON, IT IS THE CONTRACTOR'S RESPONSIBILITY TO COORDINATE AND MAINTAIN ALL BUILDING, PLUMBING, AND ELECTRICAL PERMITS
- THE CONTRACTOR SHALL MAINTAIN ACCESSIBILITY FOR INSPECTION BY THE LOCAL BUILDING OFFICIALS AS REQUIRED AT ALL TIMES; THE CONTRACTOR SHALL COORDINATE ROUTINE SITE INSPECTIONS AS PER THE GOVERNING BUILDING CODE WITH THE LOCAL MUNICIPALITY
- CONTRACTOR TO THOROUGHLY REVIEW THE CONTRACT DOCUMENTS AND SPECIFICATIONS FOR INCONSISTENCIES WITH SITE CONDITIONS; CONTRACTOR TO NOTIFY ARCHITECT IN WRITING AND REVIEW ANY INCONSISTENCIES WITH ARCHITECT PRIOR TO PROCEEDING WITH THE WORK
- INCONSISTENCIES WITH SITE CONDITIONS DO NOT ABSOLVE THE CONTRACTOR OF THE OBLIGATION TO ADHERE TO THE CONTRACT DOCUMENTS, BOTH DRAWINGS AND SPECIFICATIONS
- INCONSISTENCIES BETWEEN THE DRAWINGS AND SPECIFICATIONS DO NOT OBSOLVE THE CONTRACTOR OF THE OBLIGATION TO ADHERE TO THE STANDARDS OUTLINED; ALL INCONSISTENCIES SHALL BE PRESENTED TO THE ARCHITECT IN WRITING PRIOR TO PROCEEDING WITH THE WORK
- MEANS AND METHODS SHALL BE THE SOLE RESPONSIBILITY OF THE CONTRACTOR UNLESS OTHERWISE AGREED UPON WITH THE OWNER AND ARCHITECT
- CONTRACTOR SHALL PROVIDE, ERECT AND MAINTAIN ALL TEMPORARY BARRIERS AND GUARDS, AND ALL TEMPORARY SHORING AND BRACING AS REQUIRED BY ALL CITY AND STATE REGULATIONS
- CONTRACTOR SHALL PROVIDE ADEQUATE WEATHER PROTECTION FOR THE BUILDING AND ITS CONTENTS DURING THE COURSE OF WORK
- WHEN REQUIRED, THE CONTRACTOR SHALL TAKE CARE TO MAINTAIN SAFE AND CODE COMPLIANT CONDITIONS FOR TENANTS OCCUPY THE SITE OR BUILDING DURING ANY PERIOD OF CONSTRUCTION; UNLESS AGREED UPON BY THE OWNER IN WRITING, CONSTRUCTION OF THE WORK SHALL NOT INHIBIT ACCESS TO OCCUPIED PORTIONS OF THE SITE OR BUILDING
- THE OWNER SHALL MAINTAIN THE RIGHT TO ACCESS THE SITE AND BUILDING AS REQUIRED CONTROLLED INSPECTIONS:
- UNLESS AGREED UPON WITH THE CONTRACTOR THE OWNER SHALL HOLD THE CONTRACT WITH ALL TESTING AGENTS



CODE SUMMARY

1. USE AND OCCUPANCY CLASSIFICATION -(CHAPTER 3, SECTION 303.1.)  
GROUP A3: ASSEMBLY  
OCCUPANCY: LIBRARY
2. GENERAL BUILDING HEIGHTS AND AREAS - (CHAPTER 5)  
GROSS BUILDING AREA: NO CHANGE  
GROSS BUILDING FOOTPRINT: NO CHANGE  
No. OF STORIES : 2
3. TYPES OF CONSTRUCTION - (CHAPTER 6)  
TYPE IIIB
4. INTERIOR FINISHES- (CHAPTER 8- TABLE 803.9)  
SHAFT WALL ASSEMBLY: 1-HR  
SPRINKLER-ED EXIT PASSAGE: NO CHANGE  
CORRIDORS: NO CHANGE  
ROOMS ENCLOSED SPACE: NO CHANGE
5. MEANS OF EGRESS - (CHAPTER 10)  
NO ADDITIONS OR SUBTRACTIONS, REPLACING ELEVATOR IN CURRENT LOCATION



Date	Revision
12/11/23	Issued for Construction

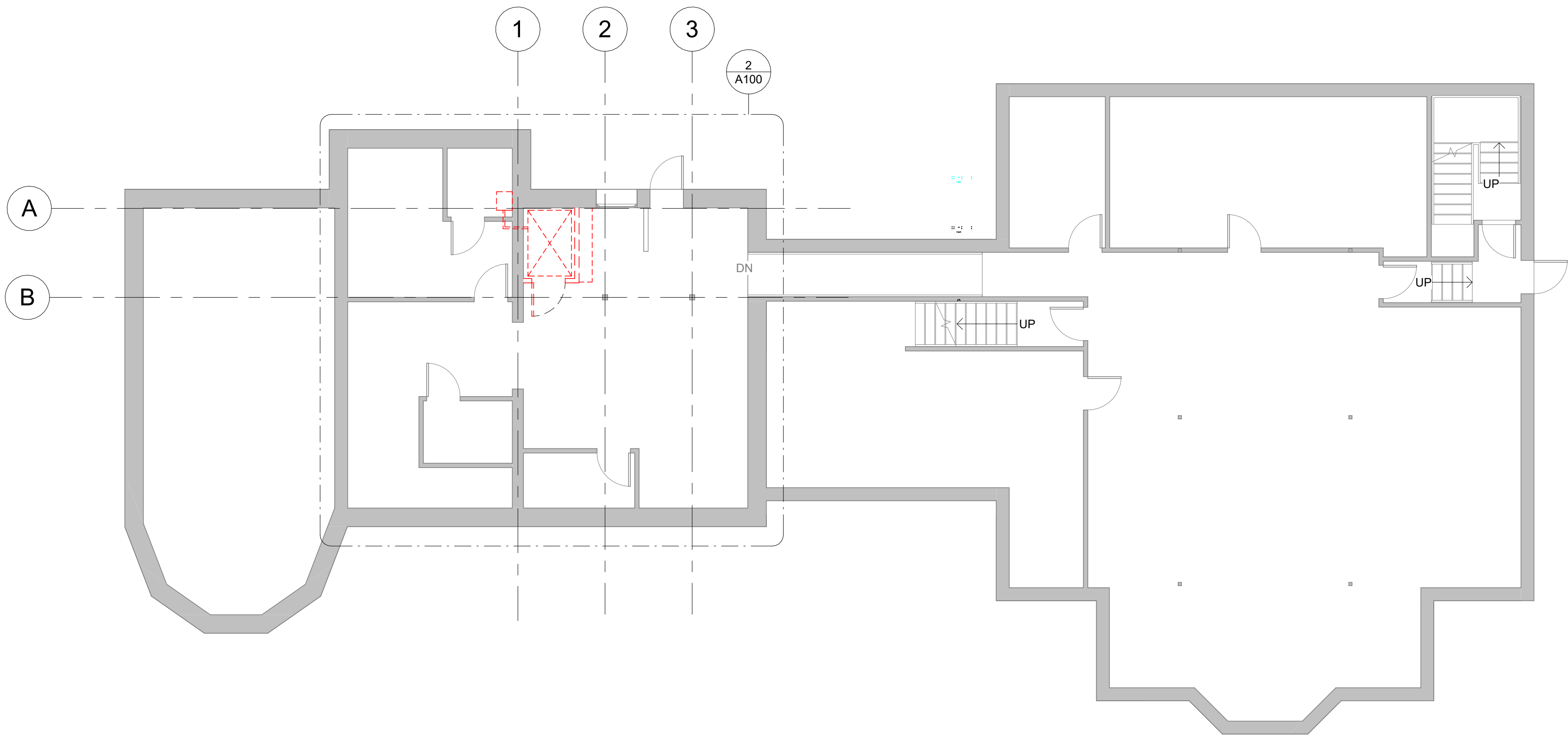
Bailey Library  
LULA

39 Bowdoin Street  
Winthrop, ME  
04364

Title Page

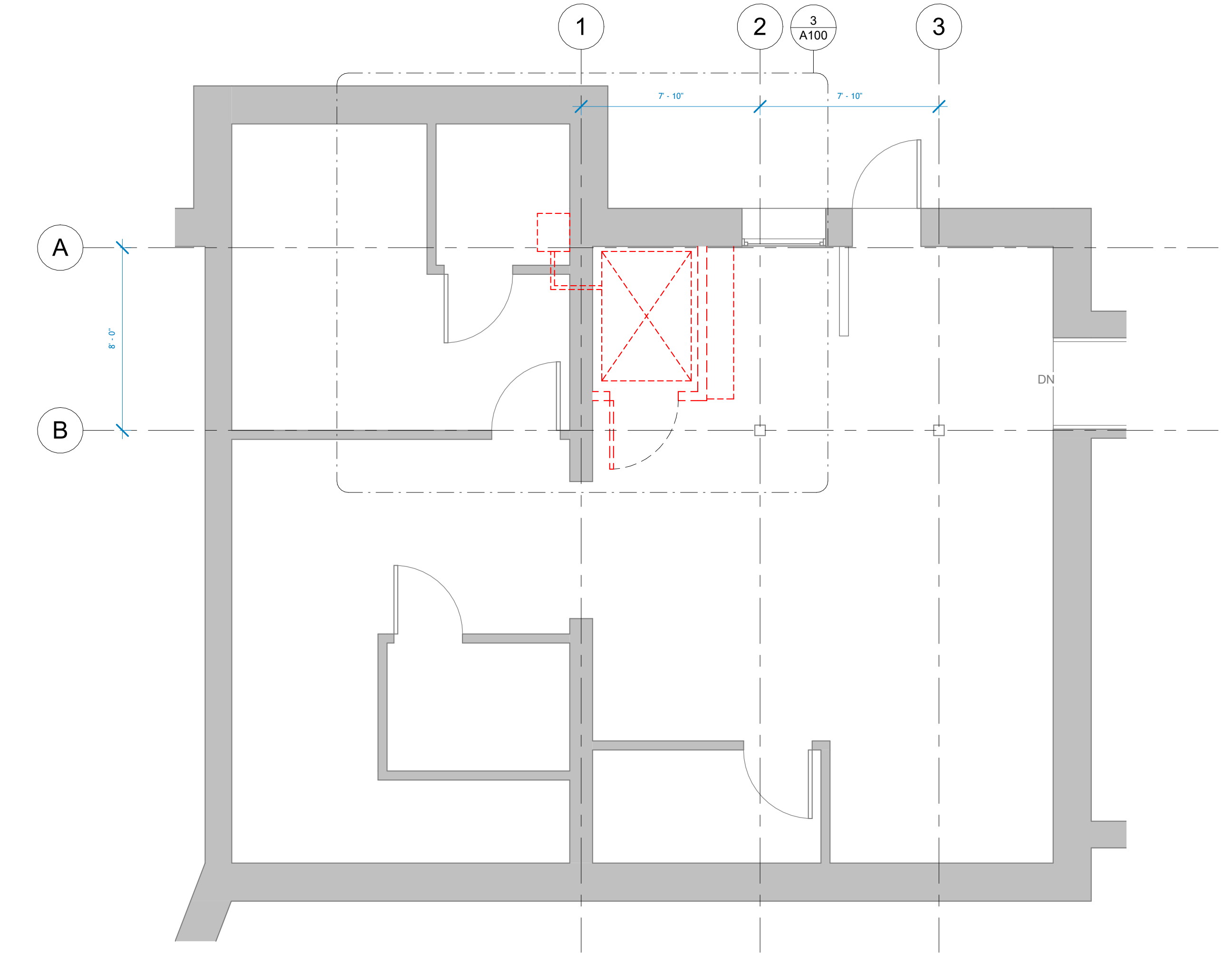
A000



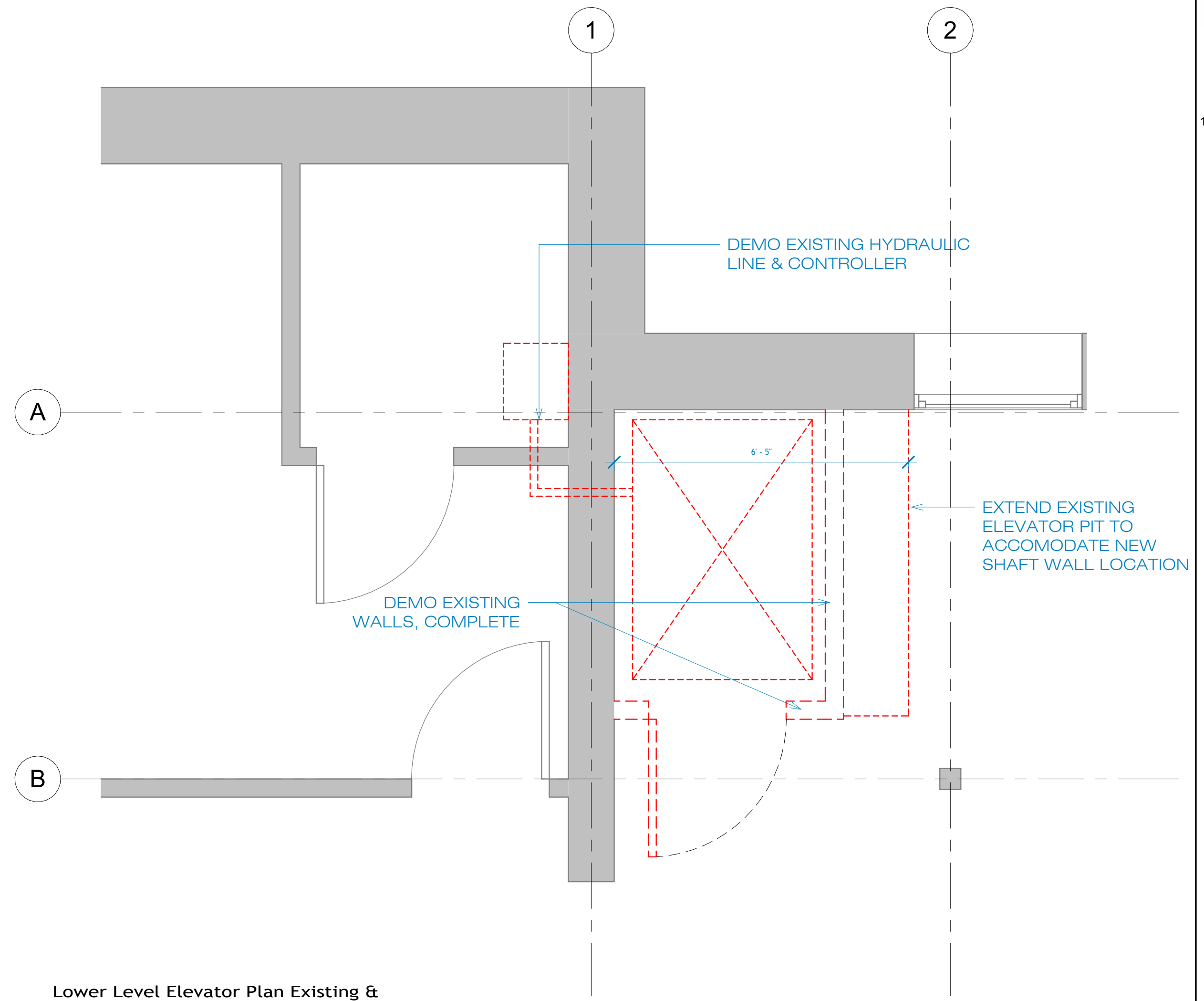


1 Lower Level Plan Existing & Demo  
1/8" = 1'-0"

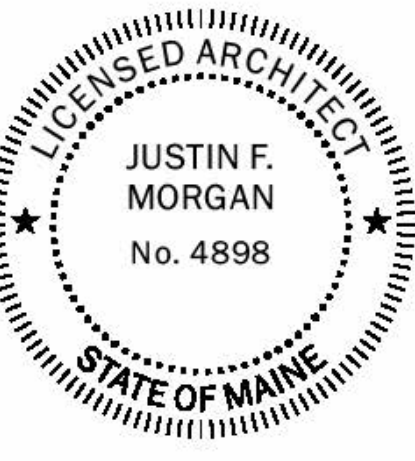
- NOTES:
- COORDINATE ALL WORK WITH ARCHITECTURAL DRAWINGS AND SPECIFICATIONS.
  - DO NOT SCALE DRAWINGS.
  - CONTRACTOR AND SUB-CONTRACTORS SHALL FAMILIARIZE THEMSELVES WITH EXISTING CONDITIONS, LOCATIONS, AND PROJECT REQUIREMENTS PRIOR TO SUBMITTING A BID.
  - CONTRACTOR AND SUB-CONTRACTORS SHALL FIELD VERIFY DIMENSIONS, AND FAMILIARIZE THEMSELVES WITH PROJECT REQUIREMENTS PRIOR TO COMMENCING WITH THE WORK. CONTRACTOR SHALL REPORT ANY DISCREPANCIES TO ARCHITECT.
  - WORK SHALL INCLUDE ALL REQUIRED PERMITS, LABOR, MATERIALS, AND EQUIPMENT TO COMPLETE ALL WORK INDICATED ON DRAWINGS AND AS NECESSARY FOR A COMPLETE PROJECT.
  - ALL PAINTING SHALL BE DONE IN ACCORDANCE WITH MANUFACTURERS SPECIFICATIONS. CONTRACTOR IS RESPONSIBLE FOR PROTECTING ADJACENT FINISHES AND CLEANUP.
  - CONTRACTOR IS RESPONSIBLE FOR FINAL CLEANUP OF WORK AREA AND ALL EXPOSED BUILDING SURFACES AT SUBSTANTIAL COMPLETION.
  - ALL WORK SHALL BE DONE IN ACCORDANCE WITH APPLICABLE CODES AND STANDARDS.
  - ALL DIMENSIONS ARE TO FACE OF STRUCTURE (F.O.S.), UNLESS OTHERWISE NOTED
  - CONTRACTOR TO FIELD VERIFY ALL DIMENSIONS, PROVIDE FOUNDATION AND FRAMING LAYOUTS, AND REVIEW WITH ARCHITECT FOR APPROVAL PRIOR TO PROCEEDING WITH CONSTRUCTION
  - ANY INCONSISTENCIES OR UNFORESEEN CONDITIONS TO BE REVIEWED BY THE ARCHITECT FOR APPROVAL PRIOR TO PROCEEDING WITH CONSTRUCTION
  - ALL DOORS AND WINDOWS DIMENSIONED TO CENTERLINE OF CLEAR OPENING.
  - CONTRACTOR SHALL PROVIDE, ERECT AND MAINTAIN ALL TEMPORARY BARRIERS AND GUARDS, AND ALL TEMPORARY SHORING AND BRACING AS REQUIRED BY ALL CITY AND STATE REGULATIONS
  - CONTRACTOR SHALL PROVIDE ADEQUATE WEATHER PROTECTION FOR THE BUILDING AND ITS CONTENTS DURING THE COURSE OF WORK
  - CONTRACTOR TO PROVIDE TEMPORARY POWER POLE AND METER FOR THE DURATION OF



2 Lower Level Enlarged Plan Existing & Demo  
1/4" = 1'-0"

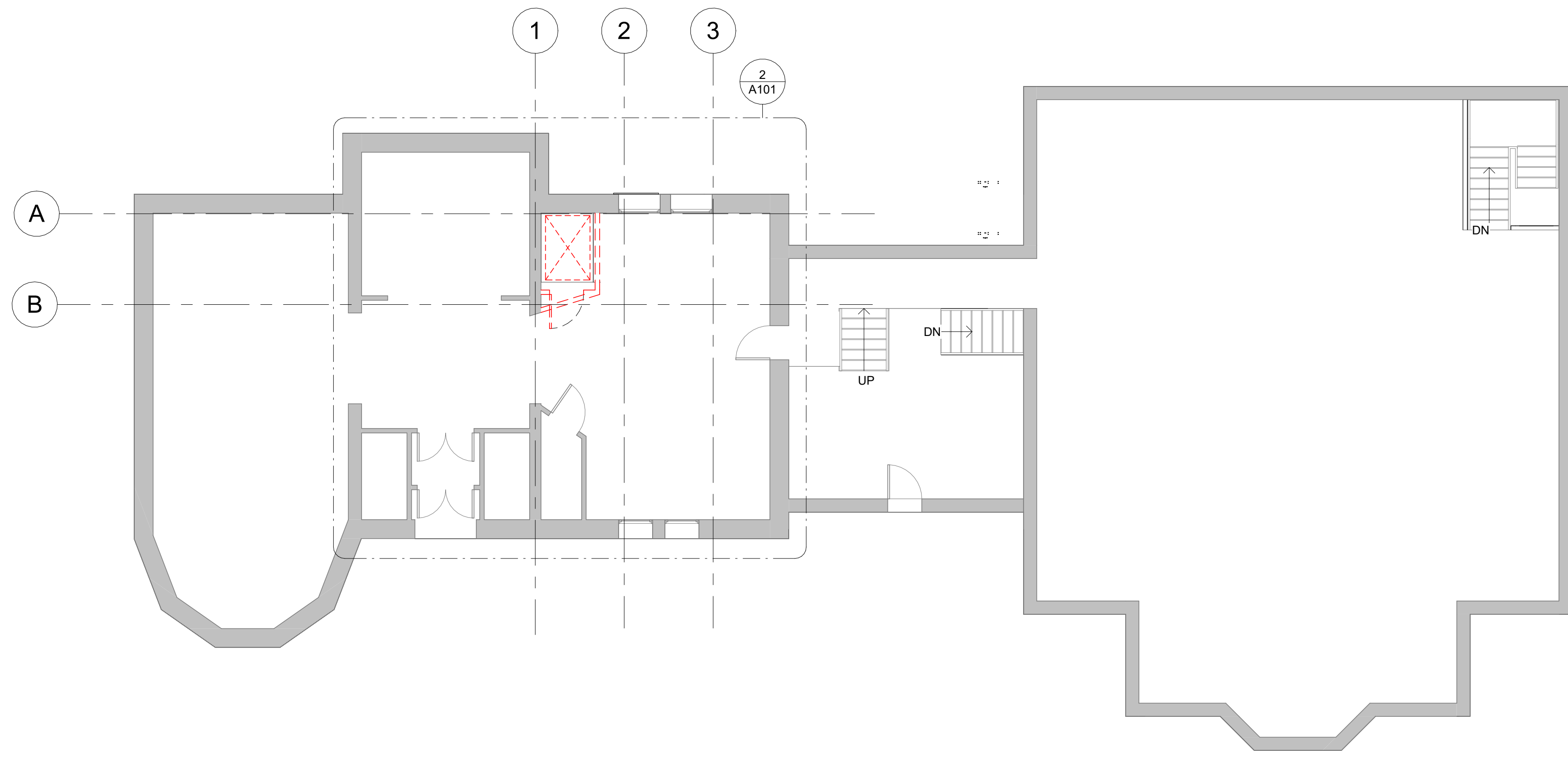


3 Lower Level Elevator Plan Existing & Demo  
1/2" = 1'-0"

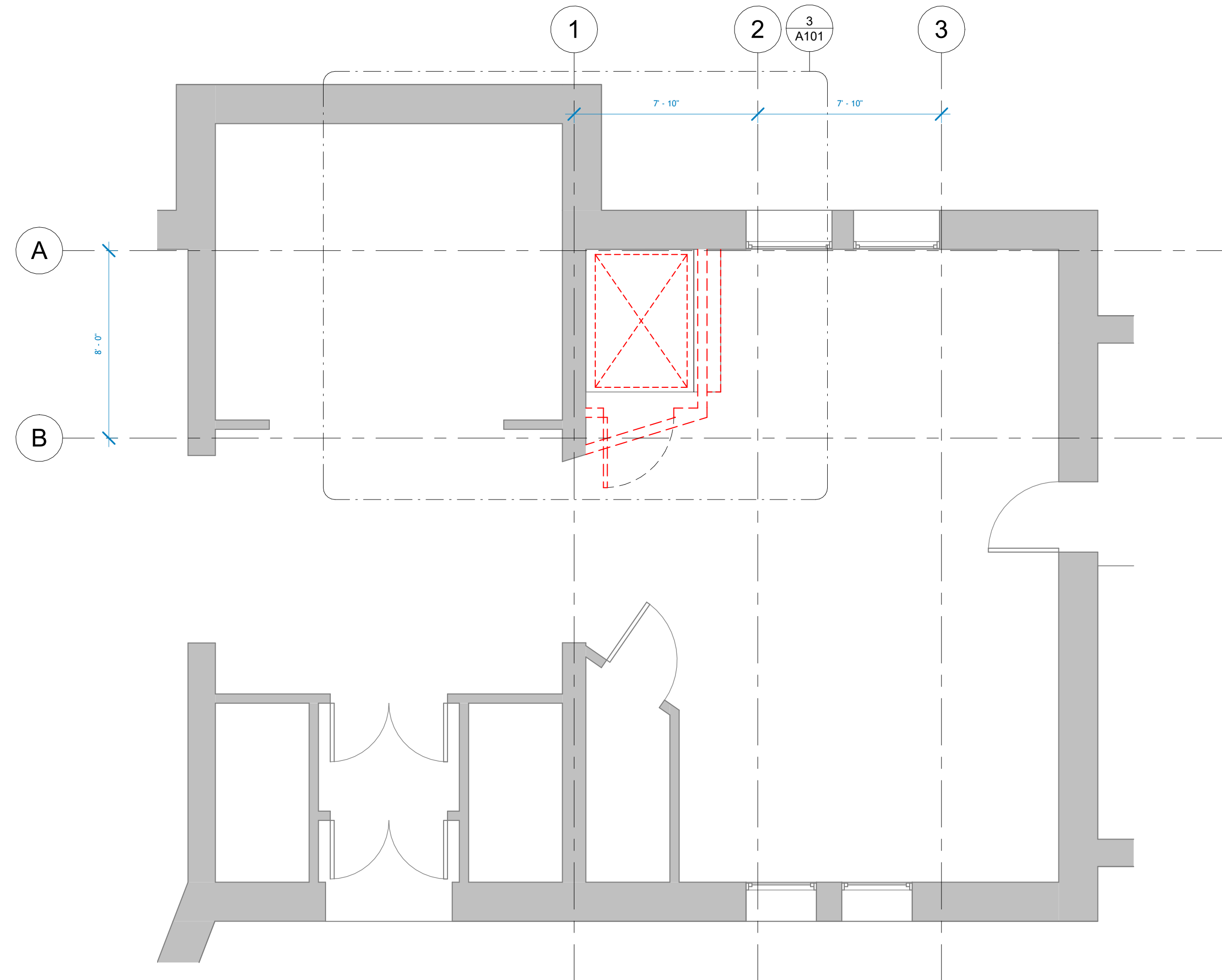


Date	Revision
12/11/23	Issued for Construction

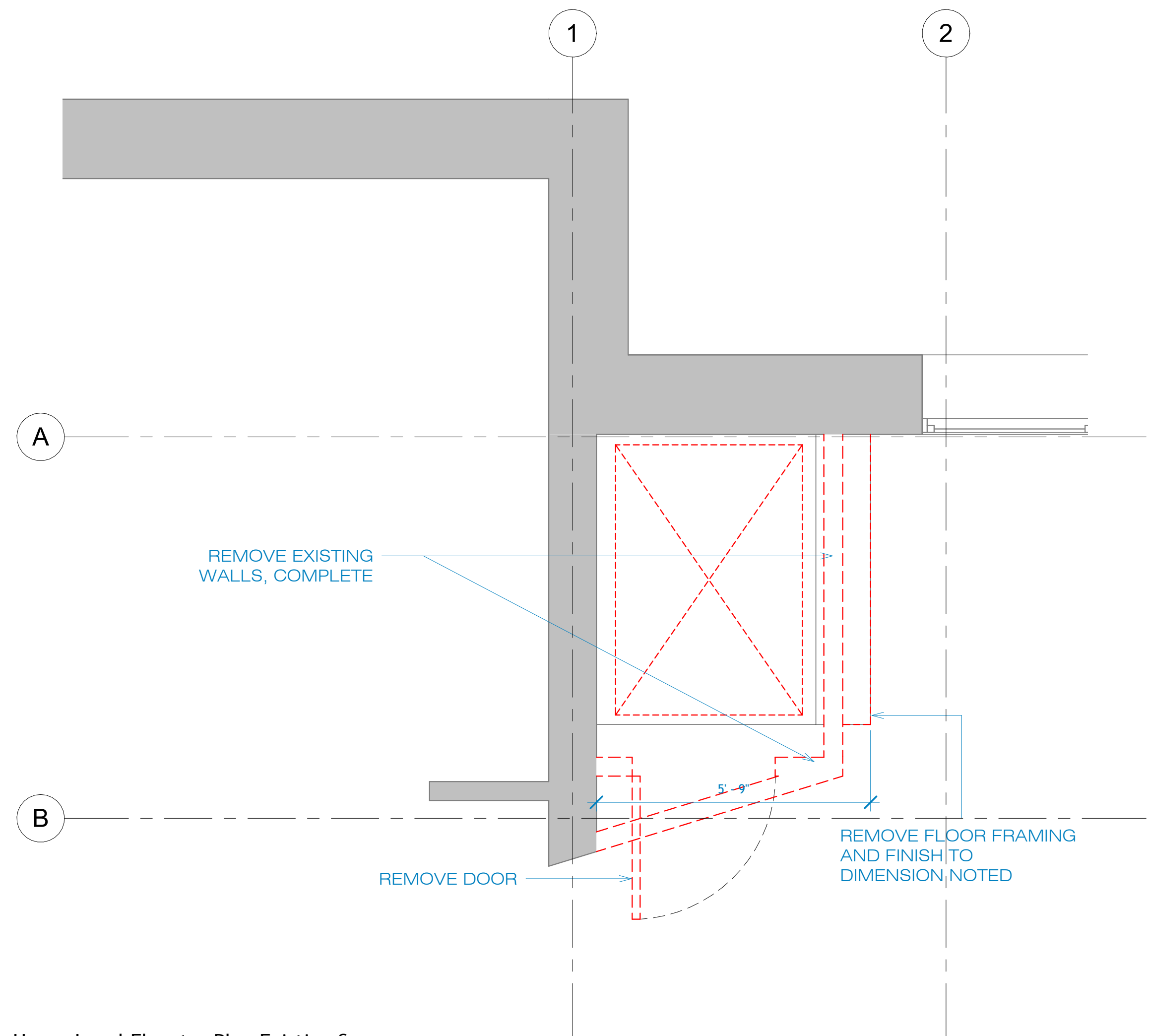
**Bailey Library LULA**  
39 Bowdoin Street  
Winthrop, ME  
04364



1 Upper Level Plan Existing & Demo  
1/8" = 1'-0"



2 Upper Level Enlarged Plan Existing & Demo  
1/4" = 1'-0"



3 Upper Level Elevator Plan Existing & Demo  
1/2" = 1'-0"

Date	Revision
12/11/23	Issued for Construction

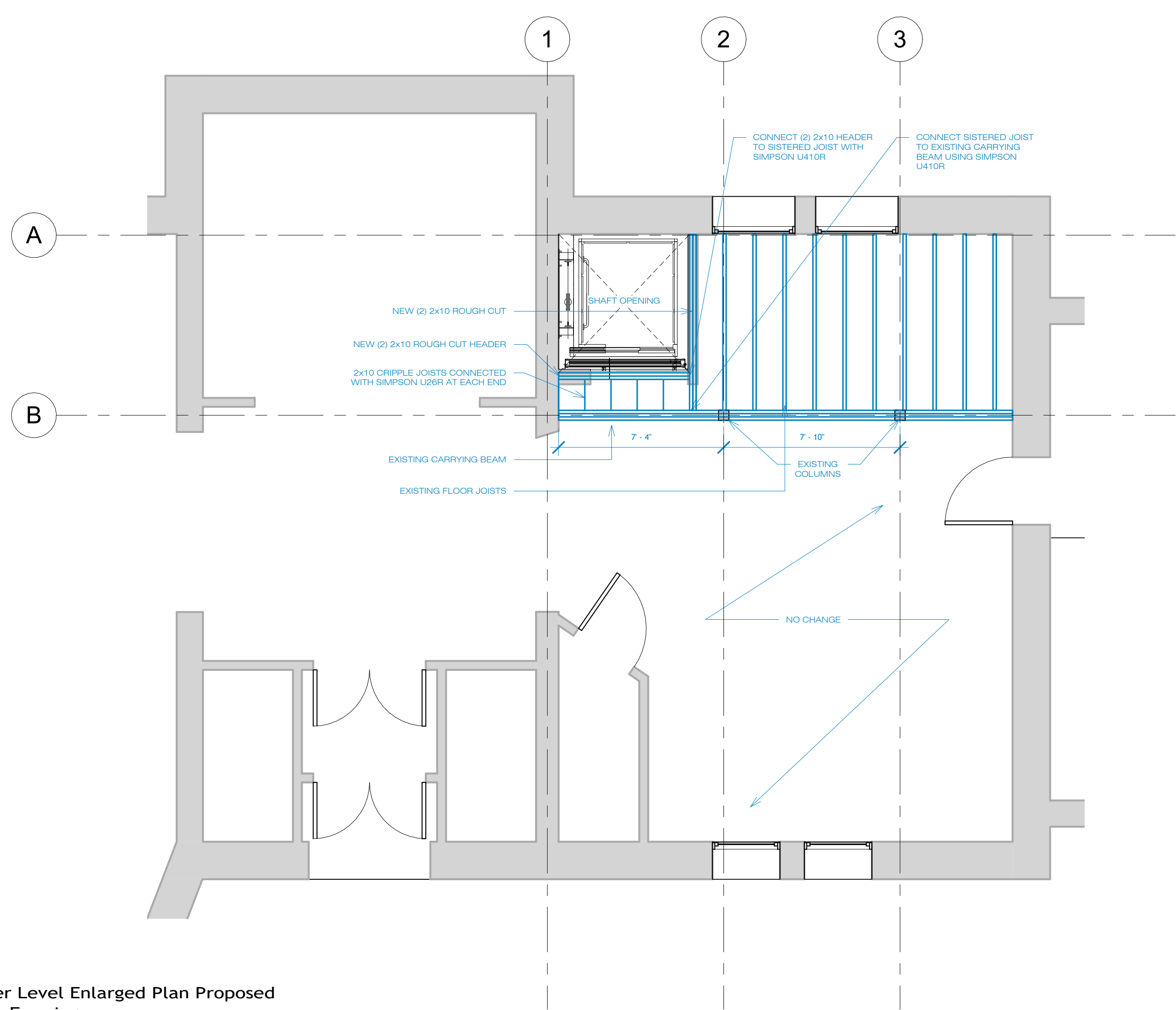
**Bailey Library LULA**  
39 Bowdoin Street  
Winthrop, ME  
04364

**Upper Level Existing & Demo Plans**  
**A101**

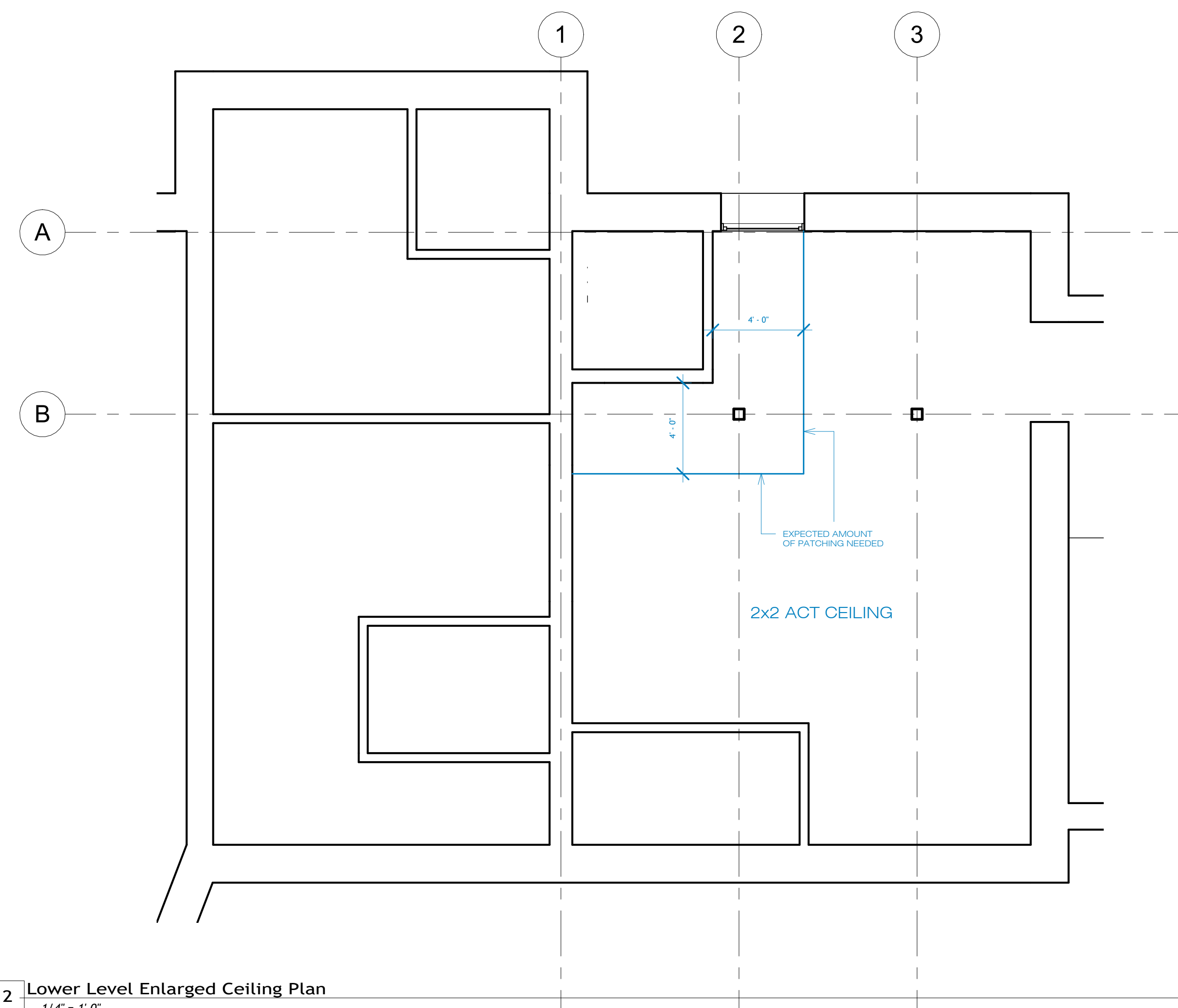




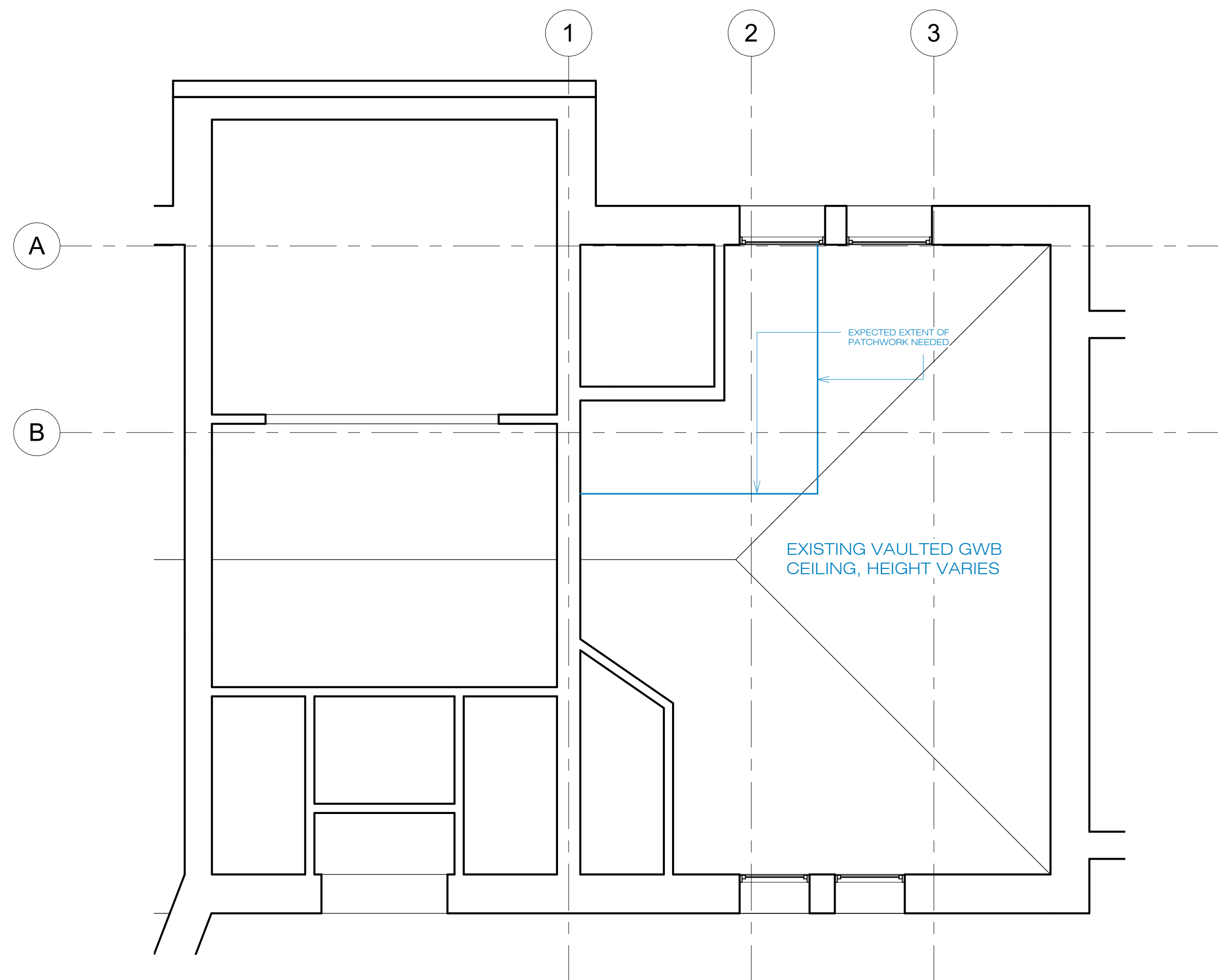




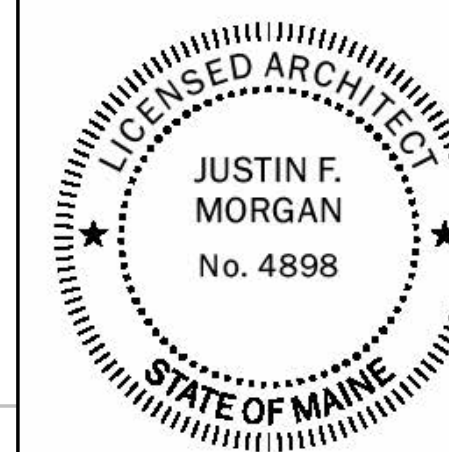
1 Upper Level Enlarged Plan Proposed Floor Framing  
1/4" = 1'-0"



2 Lower Level Enlarged Ceiling Plan  
1/4" = 1'-0"



3 Upper Level Enlarged Ceiling Plan  
1/4" = 1'-0"



Date	Revision
12/11/23	Issued for Construction

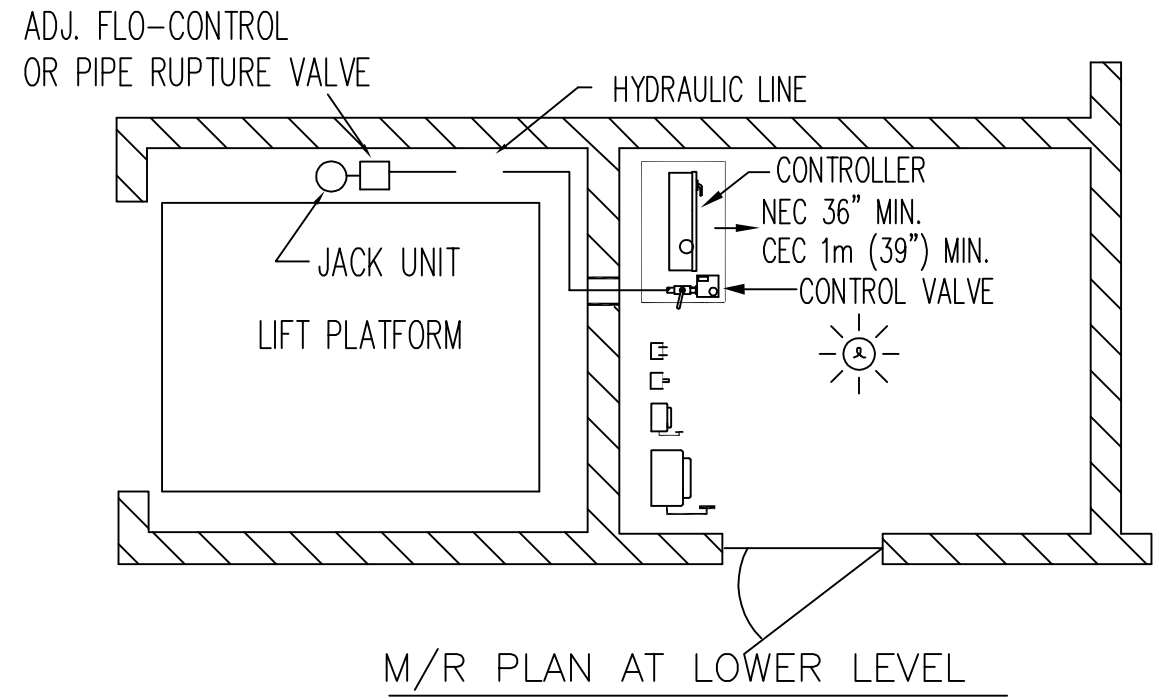
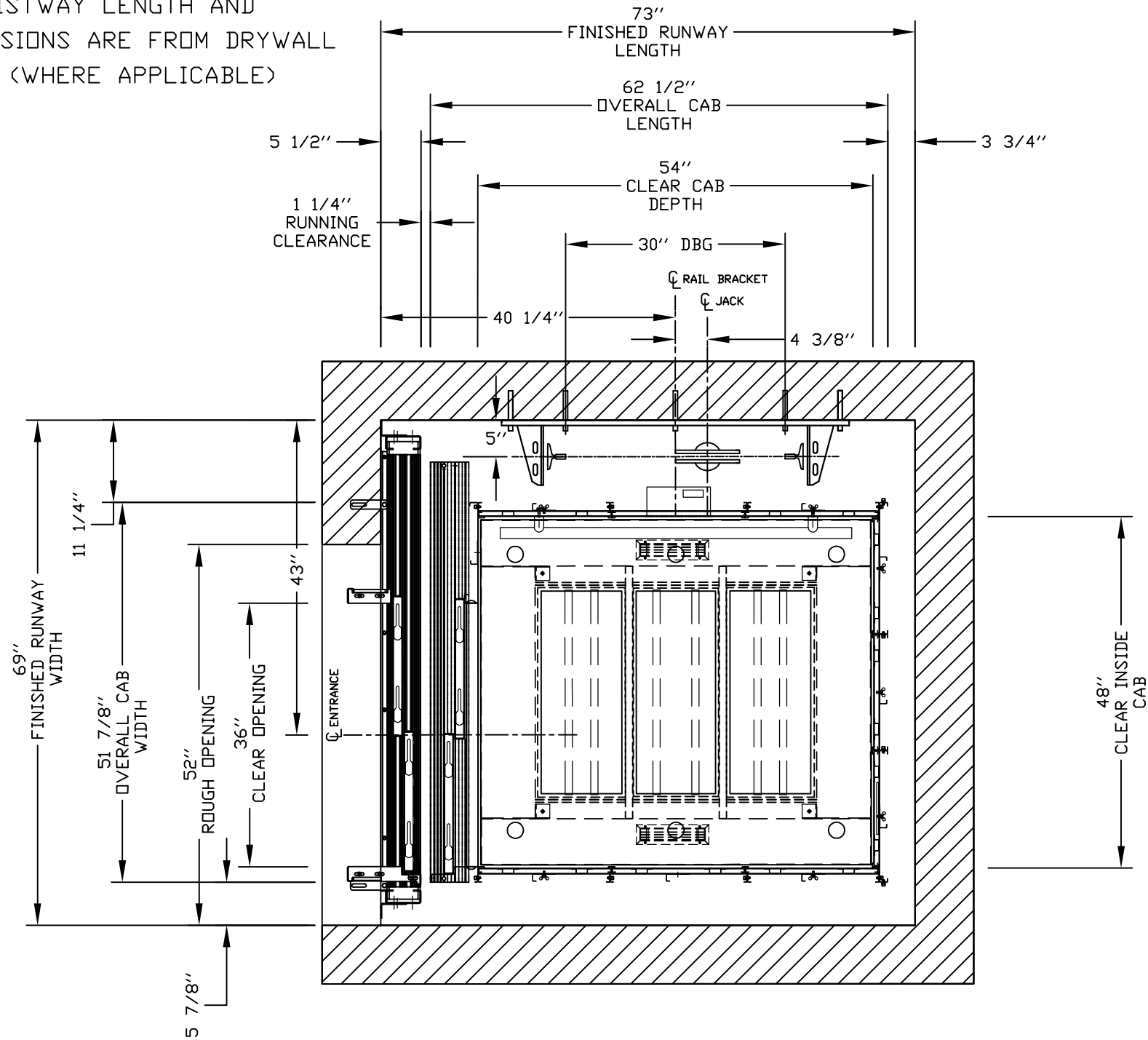
**Bailey Library LULA**

39 Bowdoin Street  
Winthrop, ME  
04364





PLEASE NOTE:  
 OVERALL HOISTWAY LENGTH AND  
 WIDTH DIMENSIONS ARE FROM DRYWALL  
 TO DRYWALL (WHERE APPLICABLE)



PRELIMINARY DRAWING ONLY  
 DRAWING APPROVAL:

THIS DRAWING REFLECTS OUR INTERPRETATION OF THE INFORMATION PROVIDED BY THE DEALER ON THE ORDER FORM. THIS INFORMATION IS THE DEALER'S RESPONSIBILITY, AND IS THE BASIS FROM WHICH THIS LIFT IS DESIGNED AND MANUFACTURED. PLEASE INDICATE THE REQUESTED ACTION BY CHECKING ONE OF THE FOLLOWING BOXES AND SIGNING BELOW TO AUTHORIZE COMPLETION OF THIS ORDER.

- APPROVED WITH NO EXCEPTIONS  
 MANUFACTURE PRODUCT AS PER DRAWING
- APPROVED WITH EXCEPTIONS, NO REAPPROVAL  
 REQUIRED  
 MAKE CHANGES AS NOTED, NO REAPPROVAL DRAWING REQUIRED
- CHANGE AS NOTED, REAPPROVAL REQUIRED  
 MAKE CHANGES AS NOTED, SEND CORRECTED DRAWING FOR  
 REAPPROVAL BEFORE MANUFACTURE

SIGNATURE: \_\_\_\_\_ DATE: \_\_\_\_\_

- CHANGES REQUEST:
1. \_\_\_\_\_
  2. \_\_\_\_\_
  3. \_\_\_\_\_
  4. \_\_\_\_\_

CAUTION: ONCE THE DRAWING IS APPROVED, JOB CANCELLATION FEES WILL APPLY

PLAN VIEW

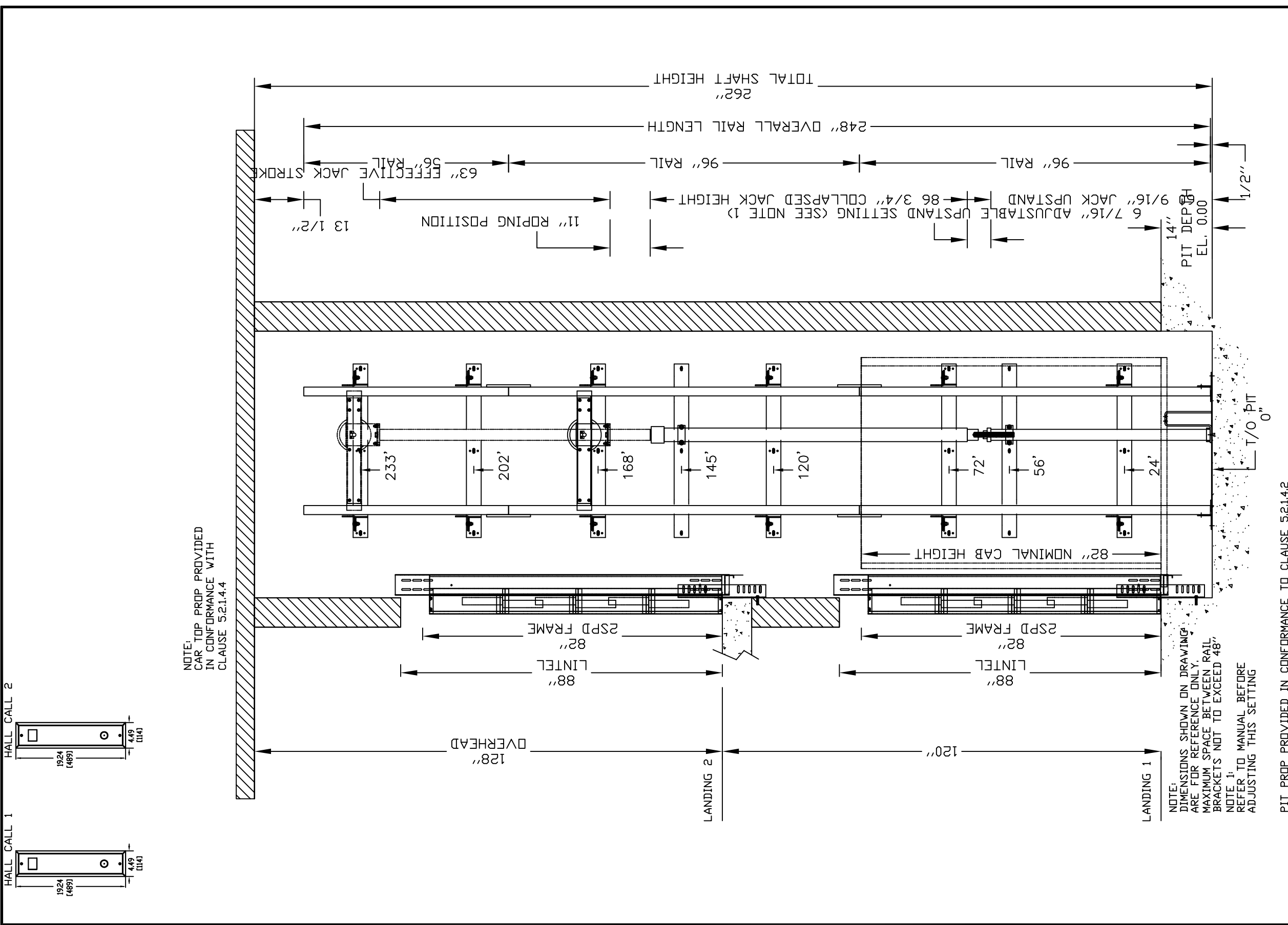
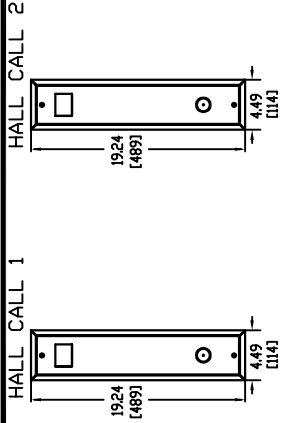
OFFICE USE ONLY:	
CONFIGURATION VERSION STAMP:	0.0
MODULE VERSION STAMP:	0-S-8.0.7

Part No.	
Variant No.	1081506

CUSTOMER:	MAINE ACCESSIBILITY CORP.	DATE:	01/26/23
PROJECT:	Bailey Public Library 2	REVISION DATE:	01/26/23
ADDRESS:	39 Bowdoin St., Winthrop ME, USA, 04364	COMPLETED BY:	jp@meaccess.biz



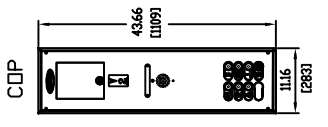
JOB No.	○ —	SHEET No.	1 OF 4
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NOTE:  
CAR TOP PROP PROVIDED  
IN CONFORMANCE WITH  
CLAUSE 5.2.1.4.4

NOTE:  
DIMENSIONS SHOWN ON DRAWING  
ARE FOR REFERENCE ONLY.  
MAXIMUM SPACE BETWEEN RAIL  
BRACKETS NOT TO EXCEED 48"  
NOTE 1:  
REFER TO MANUAL BEFORE  
ADJUSTING THIS SETTING

PIT PROP PROVIDED IN CONFORMANCE TO CLAUSE 5.2.1.4.2



OFFICE USE ONLY:		Part No.	Variant No. 1081506
CONFIGURATION VERSION STAMP:	0.0		
MODULE VERSION STAMP:	0-5-807		
CUSTOMER:	MAINE ACCESSIBILITY CORP.	DATE:	01/26/23
PROJECT:	Bailey Public Library 2	REVISION DATE:	01/26/23
ADDRESS:	39 Bowdoin St., Winthrop ME, USA, 04364	COMPLETED BY:	john@accessbiz
ELEVATION VIEW B-B			SHEET No. 2 OF 4
savaria.			JOB No.

# PROVISIONS BY OTHERS

## \*GENERAL

**HOISTWAY-** THE HOISTWAY MUST BE IN ACCORDANCE WITH "SAFETY CODE FOR ELEVATORS AND ESCALATORS" (ASME A17.1) AND ALL STATE AND LOCAL CODES.

**PLUMB HOISTWAY-** DUE TO CLOSE RUNNING CLEARANCES OWNER/AGENT MUST ENSURE THAT HOISTWAY AND PIT (WHERE PROVIDED) ARE LEVEL, PLUMB AND SQUARE AND ARE IN ACCORDANCE WITH THE DIMENSIONS ON THESE DRAWINGS. **MINIMUM OVERHEAD CLEARANCE-** OWNER/AGENT MUST ENSURE MINIMUM OVERHEAD CLEARANCE IS IN COMPLIANCE WITH CODES.

**CONSTRUCTION SITE-** OWNER/AGENT TO PROVIDE ALL MASONRY, CARPENTRY AND DRYWALL WORK AS REQUIRED AND SHALL PATCH AND MAKE GOOD (INCLUDING FINISH PAINTING) ALL AREAS WHERE WALLS/FLOORS MAY REQUIRE TO BE CUT, DRILLED OR ALTERED IN ANY WAY TO PERMIT THE PROPER INSTALLATION OF THE LIFT.

**DIMENSIONS-** CONTRACTOR/CUSTOMER TO VERIFY ALL DIMENSIONS AND REPORT ANY DISCREPANCIES TO OUR OFFICE IMMEDIATELY.

**PIT-** WHERE REQUIRED PER, 2.2.2.5 IN THE ELEVATORS PROVIDED WITH FIREFIGHTERS EMERGENCY OPERATION, A DRAIN OR SUMP PUMP MIGHT BE REQUIRED BY OTHERS, CHECK LOCAL REQUIREMENT.

## \*STRUCTURAL

**FLOOR/SUPPORT WALL LOADS-** STRUCTURE TO ANCHOR A CRANK SHAFT AND SAFETY HARNESS, WHERE APPLICABLE/NEEDED, TO BE PROVIDED BY CONTRACTOR. CONTRACTOR TO ASSURE THAT BUILDING AND SHAFT WILL SAFELY SUPPORT ALL LOADS IMPOSED BY THE LIFT EQUIPMENT. REFER TO THE TABLES ON THIS DRAWING FOR LOADS IMPOSED BY THE EQUIPMENT.

**WHERE DOORS ARE REQUIRED-** SUITABLE LINTELS MUST BE PROVIDED BY OWNER/AGENT. DOOR FRAMES ARE NOT DESIGNED TO SUPPORT OVERHEAD WALL LOADS.

## \*MACHINE ROOM

**LOCATION / ACCESS-** MACHINE ROOM LOCATED AT THE LOWEST LEVEL ADJACENT TO HOISTWAY, UNLESS SHOWN OTHERWISE ON THE LAYOUT DRAWINGS. FIELD ADJUSTMENT BY INSTALLER MAY BE NECESSARY TO MEET JOB SITE CONDITIONS OR REGULATIONS. MACHINE ROOM DOOR IS TO BE LOCKABLE AND IS TO MEET THE REQUIREMENTS OF THE AUTHORITY HAVING JURISDICTION.

**SLEEVES FOR OIL & ELECTRIC LINES-** FROM MACHINE ROOM TO RUNWAY AS REQUIRED. (POSITION PER INSTALLERS INSTRUCTIONS). MINIMUM SCHEDULE 80 PIPING REQUIRED FOR OIL LINES.

	DISCONNECT SIZE	TIME DELAY FUSE SIZE	VOLTS	PHASE	AMPERAGE
MOTOR & EQUIP	60 AMPS	40 AMPS	240 volt	Single Phase	21 AMPS
CAB LIGHTS	15 AMPS	15 AMPS	115 V	Single Phase	

## \*ELECTRICAL

**POWER SUPPLY-** (SEE SPECIFICATIONS) LOCKABLE FUSED DISCONNECT WITH AUXILIARY CONTACT TO BRAKE THE BATTERY FEED, OR CIRCUIT BREAKERS WITH A 3-POLE BREAKER FOR BATTERY FEED REQUIRED, IN COMPLIANCE WITH ELECTRICAL CODE, AS FOLLOWS: (LOCATED ON WALL ON LOCK JAMB SIDE OF MACHINE ROOM DOOR)

**PERMANENT POWER-** BEFORE INSTALLATION CAN BEGIN, PERMANENT POWER MUST BE SUPPLIED.

**LIGHTING-** THE ILLUMINATION SHALL BE NOT LESS THAN 200 LX (19 FC) AT THE FLOOR LEVEL IN ALL MACHINE ROOMS AND MACHINERY SPACES. ENSURE AT LEAST 100 LX (10 FC) AMBIENT LIGHTING OVER LIFT AREA. LIGHTING WITH SWITCH AND ELECTRICAL GFCI OUTLET IN HOISTWAY PIT. ALL LIGHTING MUST BE SOURCED FROM THE LINE SIDE OF ANY GFCI.

**PHONE-** NEED A PHONE LAND LINE (IF NOT VoIP) FOR THE PHONE. FOR VoIP PLEASE CONTACT SAVARIA.

**SMOKE DETECTORS-** DETECTORS TO COMMUNICATE WITH THE ELEVATOR ARE REQUIRED BY OTHERS WHEN FIRE SERVICE IS REQUIRED ON ELEVATOR.

**2019 CAMERA-** NEED POWER-OVER-ETHERNET (PoE+) AND INTERNET CONNECTION FOR CAMERA SAVARIA LINK REMOTE MONITORING - ETHERNET

ENSURE THAT YOU HAVE AN ETHERNET CONNECTION WITH INTERNET CAPABILITY IN THE VICINITY OF UNIT'S CONTROLLER

## \*ENTRANCES

**FASCIA PANEL BELOW UPPER LEVEL ENTRANCE-** WHERE REQUIRED, FASCIA PANEL MUST BE FASTENED TO A SOLID WALL AND BE PERPENDICULAR TO THE FLOOR AND WALLS. HOISTWAY FASCIA IS NOT SELF-SUPPORTING FOR LONG, CONTINUOUS RUNS VOID OF ENTRANCES. ADEQUATE SUPPORT FOR THE FASCIA MUST BE PROVIDED.

**ENTRANCE ASSEMBLIES-** ENTRANCE ASSEMBLIES MUST BE ADJUSTED TO ALIGN WITH PLATFORM AND INTERLOCK EQUIPMENT. OTHERS TO ALLOW AN ADEQUATE ROUGH OPENING.

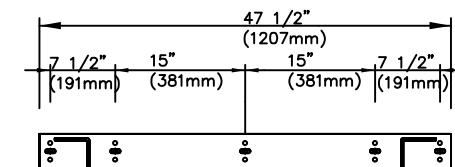
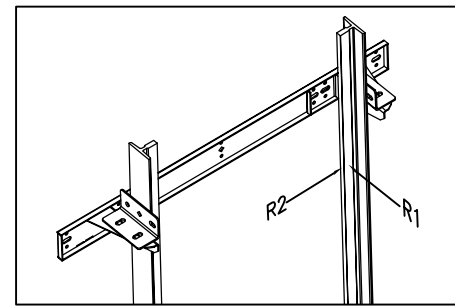
**RETURN WALLS-** RETURN WALLS AT ENTRANCES MUST BE BUILT-IN BY OTHERS AFTER ENTRANCE ASSEMBLIES ARE IN PLACE. ENTRANCE ASSEMBLY MUST BE SECURELY FASTENED TO WALLS BY ELEVATOR CONTRACTOR.

## GENERAL

CLASSIFICATION: \_\_\_\_\_ Public Building  
 APPLIED CODE: \_\_\_\_\_ CSA/ASMEA17.1/B44-2013 Sec 5.2  
 MODEL: \_\_\_\_\_ Orion17-Hydraulic  
 CAPACITY: \_\_\_\_\_ 1400lbs  
 NOMINAL SPEED: \_\_\_\_\_ 30 fpm [0.15 m/s]  
 TRAVEL: \_\_\_\_\_ 120"  
 PIT DEPTH: \_\_\_\_\_ 14"  
 POWER SUPPLY: \_\_\_\_\_ 60 Hz Single Phase 240 volt

## HYDRAULIC

PUMP MFR: \_\_\_\_\_ CONCORD  
 PUMP MODEL: \_\_\_\_\_ VICKERS 4P  
 MOTOR: \_\_\_\_\_ 5.0 hp  
 VALVE MODEL NO. \_\_\_\_\_ EPV - 7  
 VALVE COIL VOLTS: \_\_\_\_\_ 24 V DC  
 MAX WORKING PRESSURE: \_\_\_\_\_ 1500 psi  
 RELIEF VALVE SETTING: \_\_\_\_\_ MAX 25% ABOVE ACTUAL WORKING PRESSURE  
 RESERVOIR: \_\_\_\_\_ 22 Gal.  
 HOSE & SAFETY VALVE: \_\_\_\_\_ Flow Control Valve Only



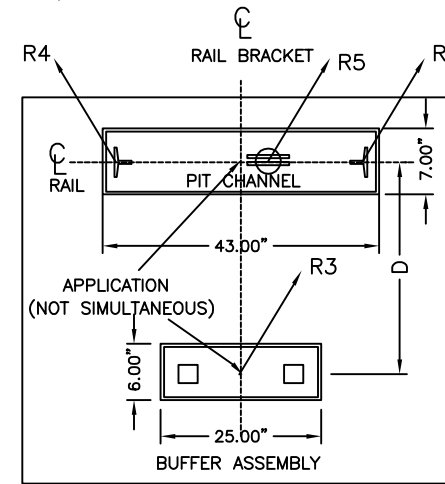
RAIL BRACKET

PIT RE-ACTION FORCE	
R3	8000 LBS
R4	3000 LBS
R5	9000 LBS

RAIL FORCES	
*R1	*R2
720 lbf	260 lbf
RAIL WEIGHT : 8.0 lbs / ft	

FOR TOTAL PULL-OUT FORCE ON RAIL BRACKET, eg. 2 x 720 = 1440 lbf  
 FOR LOCAL APPLICATION OF PIT LOAD, R1 MUST BE DOUBLED.

SEE PIT CHANNEL/BUFFER SKETCH.



CAB WIDTH	DIST (D)
42"	31.625"
48"	31.625"
51"	31.625"
54"	31.625"

## FIRST DOOR BY LANDING CHART

DOOR TYPE	LANDING 1	LANDING 2
	ENTRANCE SIDE	2 Speed Sliding Doors (Wittur) Side A
DOOR LATCH	Right Hand	Right Hand
LOCK TYPE	Not Applicable	Not Applicable
AUTO DOOR OPENER	None	None
HALL CALL KEY SWITCH	Keyless	Keyless
HOISTWAY ACCESS		no
FLOOR MARKING	1*	2
MAIN EGRESS FLOOR	1	

## OPTIONS

FASTENERS: \_\_\_\_\_ Lag Bolts  
 FIREMAN'S SERVICE: \_\_\_\_\_ Phase 1  
 OVERSPEED GOV./VALVE: \_\_\_\_\_ OverSpeed Valve  
 CONDUCTOR CABLE: \_\_\_\_\_ 40' [12m] cable  
 DATA ACCESS TERMINAL: \_\_\_\_\_ No Tool  
 DUPLINE PROGRAMMING TOOL: \_\_\_\_\_ Valve PLC tool and Dupline Prg  
 TEMP. RUN BUTTON: \_\_\_\_\_ Temp Run Button not incl.  
 LANDING SIGNS: \_\_\_\_\_ no signs required

FLOOD SWITCH: \_\_\_\_\_ Not Required  
 STATE SPEC. FIREMAN KEY: \_\_\_\_\_ New Jersey\Maine\Mass(3502)  
 SPEEDY SET-UP JIG: \_\_\_\_\_ Speedy Jig Required  
 DIRECT. ARROW & VOICE ANNUNCIATOR: \_\_\_\_\_ Not required

CUSTOMER: \_\_\_\_\_ MAINE ACCESSIBILITY CORP.  
 PROJECT: \_\_\_\_\_ Bailey Public Library 2  
 ADDRESS: \_\_\_\_\_ 39 Bowdoin St., Winthrop ME, USA, 04364

DATE: \_\_\_\_\_ 01/26/23  
 REVISION DATE: \_\_\_\_\_ 01/26/23  
 COMPLETED BY: \_\_\_\_\_ jp@meaccess.biz

Data Sheet  
 LIMITED USE LIMITED APPLICATION

# SPECIFICATIONS

## CAR FINISH DETAILS

CAB PANEL SELECTION: \_\_\_\_\_ Stainless Steel & Raised Panels  
 CEILING SELECTION: \_\_\_\_\_ Stainless Steel  
 CAB ENTRANCE: \_\_\_\_\_ Match Cab  
 PLASTIC LAMINATE FINISHES: \_\_\_\_\_ To be Determine  
 POT LIGHT FINISH: \_\_\_\_\_ Stainless Steel  
 TRIM COLOUR: \_\_\_\_\_ Not Applicable  
 CAR STATION PLATE: \_\_\_\_\_ stainless steel  
 HAND RAIL TYPE: \_\_\_\_\_ Stainless Steel Cylindrical  
 CAB FLOORING: \_\_\_\_\_ Plywood Floor  
 FINISHED FLOOR THICKNESS: \_\_\_\_\_ 0.375"  
 TELEPHONE BOX: \_\_\_\_\_ no  
 TELEPHONE BOX FINISH: \_\_\_\_\_ Not Applicable  
 HAND FREE PHONE: \_\_\_\_\_ yes, Hands Free Phone, with phone line monitoring

## CAR DIMENSIONS/PLATFORM GATES

CAB TYPE: \_\_\_\_\_ Type 1 Left Hand  
 CAB HEIGHT: \_\_\_\_\_ 82" [2083mm] Cab Height  
 CAB OPERATION: \_\_\_\_\_ automatic operation  
 GATES REQUIRED: \_\_\_\_\_ Automatic Operated Gates  
 GATE TYPE: \_\_\_\_\_ 2 Spd Doors (Wittur) match CAB  
 GATE FINISH: \_\_\_\_\_ Stainless Steel  
 INSIDE PLATFORM AREA: \_\_\_\_\_ 18 sf.

## HOISTWAY

DOOR TYPE: \_\_\_\_\_ 2 spd Sliding Doors (Wittur)  
 HOISTWAY DOORS FINISH: \_\_\_\_\_ Standard Finish (Primer Grey)  
 HOISTWAY FINISH: \_\_\_\_\_ Drywall

## JACK UNIT

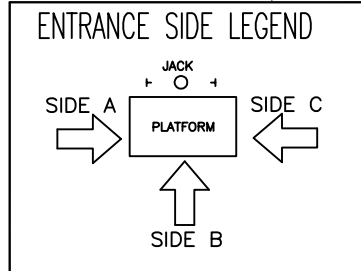
EFFECTIVE STROKE: \_\_\_\_\_ 63"  
 SOLID PLUNGER O/D: \_\_\_\_\_ 3"  
 CYLINDER O/D: \_\_\_\_\_ 3 3/4"  
 CYLINDER I/D: \_\_\_\_\_ 3 1/4"  
 SPLIT CYLINDER? \_\_\_\_\_ no  
 COLLAPSED LENGTH: \_\_\_\_\_ 86 3/4"  
 CYLINDER WALL THICKNESS: \_\_\_\_\_ 1/4"

## SUSPENSION

TYPE: \_\_\_\_\_ ELEVATOR CABLE 2 X 3/8" DIA.  
 CONSTRUCTION: \_\_\_\_\_ IWRC 7 X 19, GALVANIZED STEEL RHRL  
 NOMINAL STRENGTH: \_\_\_\_\_ 14,400 lbs Per Cable  
 SPECS: \_\_\_\_\_ MI-DTL-83420

## OVER SPEED VALVE

MODEL: \_\_\_\_\_ AS PER SECTION 3.19.4.7  
 BLAIN R10 AA  
 (1450psi (9997 kPa) MAX WORKING PRESSURE)



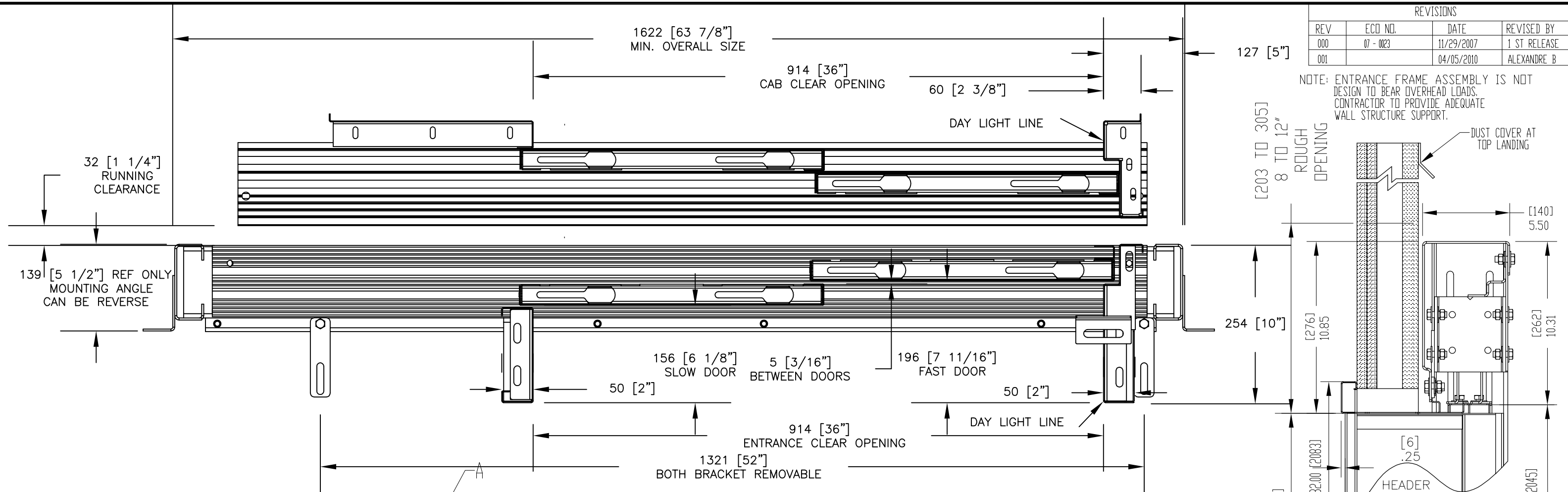
OFFICE USE ONLY:  
 CONFIGURATION VERSION STAMP: \_\_\_\_\_ 0.0  
 MODULE VERSION STAMP: \_\_\_\_\_ 0-S-8.0.7

Part No. \_\_\_\_\_  
 Variant No. \_\_\_\_\_ 1081506



JOB No. \_\_\_\_\_ SHEET No. \_\_\_\_\_ 3 OF 4

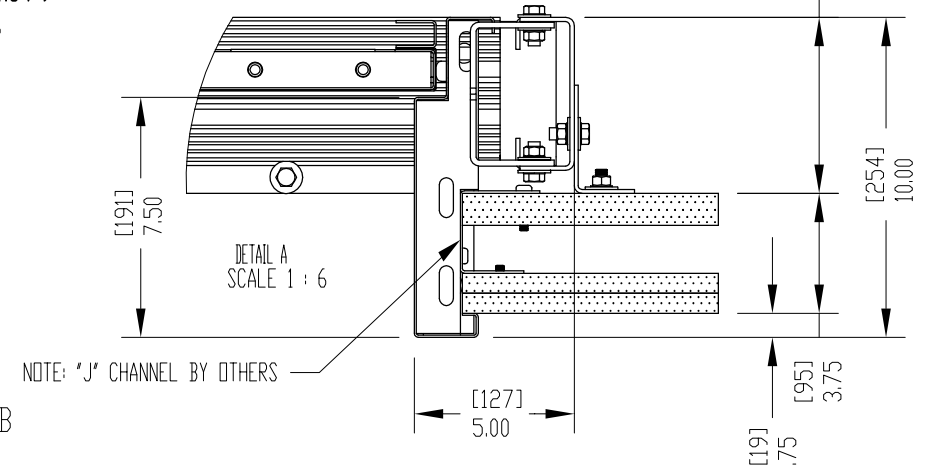
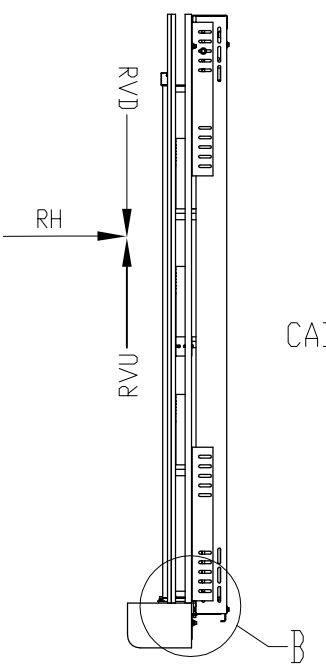
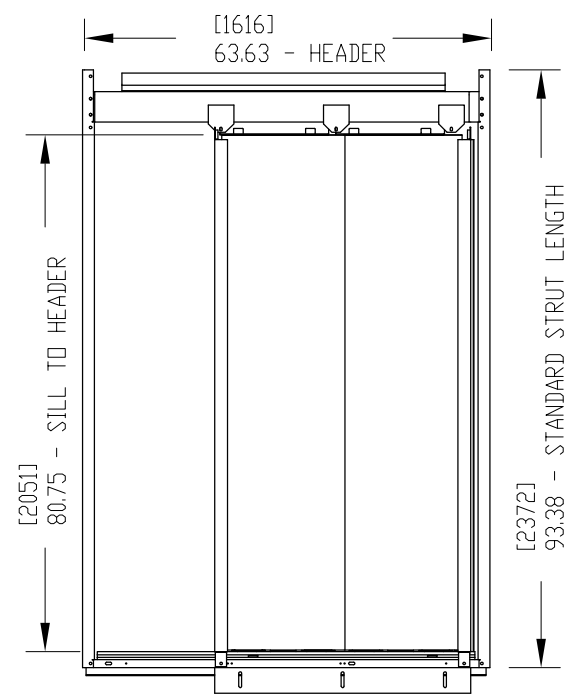
REVISIONS			
REV	ECD NO.	DATE	REVISED BY
000	07 - 0023	11/29/2007	1 ST RELEASE
001		04/05/2010	ALEXANDRE B



NOTE: W507 2 HOURS DRYWALL CONSTRUCTION

ENTRANCE LOADS ON BUILDING  
 RH = 5000 N (1125 lbf)  
 RVD = 1550 N (350 lbf)  
 RVU = 1000 N (225 lbf)  
 PER SECTION 2.11.11.8.

NOTE: INTERFACE BETWEEN ENTRANCE FRAME ASSEMBLY AND WALL STRUCTURE AS PER WALL DESIGN. No. W 507 FOR NON-BEARING WALL INSTALLATION INSTRUCTIONS.



OFFICE USE ONLY:	
CONFIGURATION VERSION STAMP:	0.0
MODULE VERSION STAMP:	0-S-8.0.7

Part No. Variant No. 1081506

RIGHT HAND SHOWN

LANDING 2 SP. DOOR ASSEMBLY  
 DRYWALL CONSTRUCTION 36 X 80

CUSTOMER: MAINE ACCESSIBILITY CORP.  
 PROJECT: Bailey Public Library 2  
 ADDRESS: 39 Bowdoin St., Winthrop ME, USA, 04364

DATE: 01/26/23  
 REVISION DATE: 01/26/23  
 COMPLETED BY: ip@meaccess.biz



JOB No. SHEET No. 4 OF 4

**TOWN OF WINTHROP**  
**CONFLICT OF INTEREST BID DISCLOSURE FORM**

For purposes of determining any possible conflict of interest, all responders must disclose if the Town of Winthrop, Town Council members or Town employee(s) are owners, corporate officers, employees, etc. of their business.

Indicate either "Yes" (if a Town Council member or Town employee is associated with your business) or "No". If "Yes", give person(s) name(s) and position(s) with your business.

- YES (list below)
- NO

NAME(S)	POSITION(S)

COMPANY NAME: \_\_\_\_\_

BY (Printed Name): \_\_\_\_\_

BY (Signature): \_\_\_\_\_

TITLE: \_\_\_\_\_

ADDRESS: \_\_\_\_\_

\_\_\_\_\_

PHONE NUMBER: \_\_\_\_\_

E-MAIL ADDRESS: \_\_\_\_\_



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**Bailey Public Library**  
**Request for Qualifications**





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# Bailey Public Library

39 Bowdoin Street,  
Winthrop, ME 04364



## Construction Manager at Risk Proposal

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03/01/2024



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# **Bailey Public Library**

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### **SUMMARY & QUALIFICATIONS**

- Letter of Interest
- Description of the Firm
- Services
- Key Information (A Snapshot)
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- Safety Mission Statement
- Comparable Projects
  - Skowhegan High School Additions & Renovations
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  - Broad Bay Church Renovations

### **METHODS & PLAN**

- Strategy, Methodology, and Resources
- Subconsultants and Subcontractors
- Local Subcontractors and Material Vendors
- Risk Management
- Impact and Safety

### **EXPECTATIONS & RESULTS**

- Setting Expectations and Ensuring Success
- Project Schedule

### **MANAGEMENT & STAFF**

- Resumes of Key Personnel
  - Christine Kendall, President
  - Mike Walsh, Senior Project Manager
  - Jackson White, Estimator
  - Craig Belliveau, Superintendent
  - Jeff Cayer, Superintendent





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# **Bailey Public Library**

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- Communication Strategies for Project Success

### **BUDGET & COSTS**

- Bid Form

### **LICENSING, BONDING, & INSURANCE**

- Bond
- Certificate of Insurance

### **REFERENCES**

- References



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# CONTACT INFORMATION

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## **Contact Information**

**Phone:**

(207) 784-6927

**Email:**

[jwhite@hecallahan.com](mailto:jwhite@hecallahan.com)

**Address:**

2664, Turner Road, Auburn, ME 04210



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# SUMMARY & QUALIFICATIONS

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03/01/2024

Subject: Lift Renovation for the Bailey Public Library

Dear Mr. Fortin,

We at H.E. Callahan Construction Co. want to extend our gratitude for allowing us the opportunity to play a part in the Renovation of the Bailey Library. Since our company's inception in 1948, we have amassed decades of expertise in Construction Management and General Construction Services.

Our pride is our relationship with the people we work with. The long-lasting connections we've built with our suppliers and subcontractors are built on transparency, communication, and collaboration. It is also these strong partnerships that allow us insights into market dynamics in both Maine and New Hampshire.

We have as much confidence in our ability to reach out and connect with our clients as we do in our hard-working team. H.E. Callahan's outstanding track record was built by the dedicated people that make up our team, and we would be honored to be able to show you what they are capable of on this project.

If there is any need for additional information, you're welcome to reach out to us. We want to thank you once more for considering H.E. Callahan Construction Co. for this project, and we hope to be working alongside you in the near future.

Respectfully,

A handwritten signature in black ink that reads "Christine Kendall". The signature is written in a cursive, flowing style.

Christine Kendall, President  
H.E. Callahan Construction Co.



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## DESCRIPTION OF THE FIRM

H.E. Callahan Construction Co., a comprehensive general construction contractor and construction manager, has been in operation since 1948. Established by Herbert E. Callahan, the company continues to deliver a broad spectrum of services from its headquarters in Auburn, Maine, extending across Maine and New England. The current management upholds the core values of quality, integrity, and responsiveness.

Benefitting from a team of highly experienced and skilled managers, supervisors, and craftsmen, H.E. Callahan actively pursues challenging projects where collaborative efforts with Owners and Architects lead to successful outcomes. Proficient in managing complex projects within schedule and budget constraints, we take pride in our analytical approach to project requirements and our ability to foresee potential challenges. Clear and open communication within the team is integral to ensuring quality results, with customer satisfaction serving as a key metric of our success.

Having completed a diverse array of projects, H.E. Callahan's experience encompasses virtually every facet of construction. Over the years, we have undertaken projects for governmental, commercial, institutional, industrial, and educational clients. The firm adeptly navigates the challenges and complexities of modern construction techniques, employing up-to-date practices and technology to deliver cost-effective solutions for our clients.

H.E. Callahan boasts an exceptional team comprising highly knowledgeable and experienced individuals dedicated to crafting beautiful and functional spaces for our clients. Our field personnel, recognized as our most valuable asset, consist of craftsmen capable of self-performing various tasks, setting H.E. Callahan apart from its competitors.





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## SERVICES

As part of our commitment to clients, H.E. Callahan Construction Co. offers a diverse range of construction delivery methods tailored to the specific needs of each project. The following pages offer a summary of those services.

### Construction Management

For projects that are complex, fast-track, or possess unique challenges, H.E. Callahan stands out in providing exceptional construction management services. Throughout the various phases of construction, we offer guidance and leadership, always prioritizing the representation of the Owner's interests. Our responsibilities encompass the coordination of design and bid phases, contract administration, and the meticulous management of timelines and costs. H.E. Callahan's extensive experience with this method, combined with robust resources and financial strength, plays a pivotal role in guaranteeing the final price.

### General Construction

Collaborating closely with Owners and designers, H.E. Callahan delivers traditional general construction services through competitive bids or negotiated contracts. Coordinating with suppliers and subcontractors, our project managers and site supervisors ensure the construction process aligns with budgets and schedules. H.E. Callahan's in-house work provides flexibility in project scheduling and cost savings by minimizing coordination efforts and subcontractor markups. We typically handle the following tasks with our own field forces:

- Selective Demolition
- Cast-in-place concrete
- Structural and ornamental metals
- Rough and finish carpentry
- Building trades including doors, windows, and hardware
- Pre-engineered metal building erection, roofing, and siding



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## **SERVICES Continued...**

By Seeking competitive subcontractor bids for significant work packages, we guarantee cost-effectiveness in our projects.

### **Design/Build**

In response to the increasing preference among our clients for a streamlined approach, H.E. Callahan adopts a design/build model, where a single entity takes charge of the entire planning, design, and construction process. Our comprehensive services are delivered in collaboration with architectural/engineering firms. We work closely with Owners and stakeholders to understand their project needs, exploring building solutions that offer the best value within specified budgets.

H.E. Callahan, leveraging its extensive experience, develops proposals and bid packages outlining project requirements, often collaborating with local subcontractors in Mechanical and Electrical trades to present competitive proposals. Our strength lies in partnering with Owners to analyze proposals, make contractor recommendations, and select based on contract price, proposed work, and project alignment.

### **Construction Consulting Services**

H. E. Callahan's experienced team of engineers, estimators, schedulers and project managers is available to assist Owners and designers during the initial planning phase of a project. These services prove invaluable in ensuring accurate budget estimates, analyzing constructability, and developing realistic schedules. Early collaboration efforts between the Owner, architect, and contractor often result in well-planned and ultimately successful projects. Value engineering studies during the early planning phase can yield substantial cost savings.





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## KEY INFORMATION ( A SNAPSHOT)

Founded in 1948

### Services Offered

- Construction Management
- Design/Build
- General Construction
- Construction Consulting

### Past Clients Examples

- Boyne Resorts
- DFD Russell Medical Center
- MaineGeneral Medical Center
- Town of Buckfield
- Hannaford Bros. Co.
- Town of Carrabassett Valley
- University of Maine, Farmington
- Southern Maine Medical Center
- Central Maine Medical Center
- St. Mary's Health System
- Maine Coast Memorial Hospital
- Bates College
- Southern Maine Community College
- Central Maine Community College
- Norway Opera House
- Town of Skowhegan
- Auburn Housing Authority
- Schooner Estates
- Central Maine Power
- Auburn School Department

## Safety Awards

- Excellent Safety Record - AGC
  - 2008-2023
- AGC Excellence in Performance
- Less than 5% Loss Ratio
- Zero Indemnity Claims
- Richard Haines Memorial Award
- 2023 MOD Rate 0.75

## Employees

- 30 Employees on Average
- Average Length of Service 14 Years-  
Management
- Average Length of Service 9.5 –  
Company Wide

## Subcontractor/Supplier

- 430 Suppliers
- 1800 Subcontractor Contacts



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## **Mission Statement**

**H.E. Callahan strives to be the contractor of choice with customers and employees**

**We do so by**

Building strong relationships with our customers through quality workmanship, customer service, and maintaining the highest level of professionalism and honesty.

**We do so by**

Building opportunity for our employees to grow personally and professionally by supporting education, creating a culture to foster ideas and hard work, and building trust within our team.

**We do so by**

Building resilience within our company through continuous improvement and innovation, to afford the company the resources to support the needs of our customers and our employees during market changes and existential forces.



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## Safety Mission Statement

The Management of H.E. Callahan Construction Co. recognizes that accident prevention is an operating responsibility and has adopted the philosophy that accident prevention demands the same executive commitment, direction and control given to production.

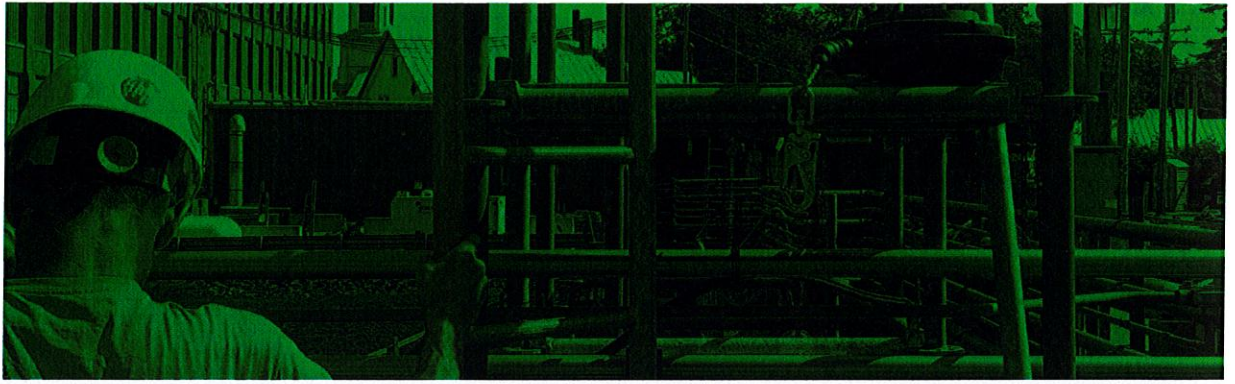
It is the responsibility of all employees to adhere to H.E. Callahan's safety policies, procedures and rules as outlined in the Personnel and Safety Manual.

Our goal of zero accidents can only be reached by teamwork and the full cooperation of everyone putting safety first.

Management commitment and employee cooperation will ensure a healthy workplace. No job is so important that safety should be jeopardized in order to accomplish it.

Christine Kendall, President  
H.E. Callahan Construction Co.



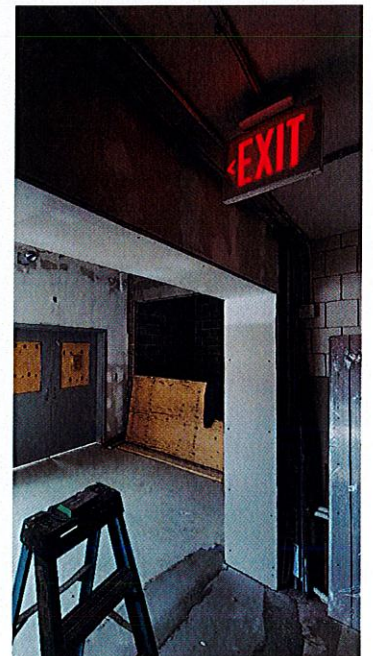
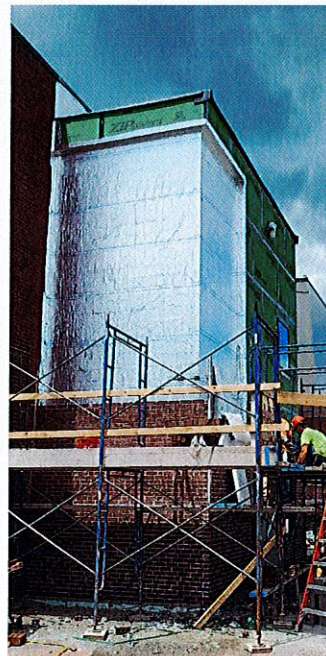


**Project:** Skowhegan High School Elevator Addition  
**Owner:** MSAD #54  
**Architect:** Woodard & Curran  
**Contract Value:** \$830,000  
**Completion:** August 2023

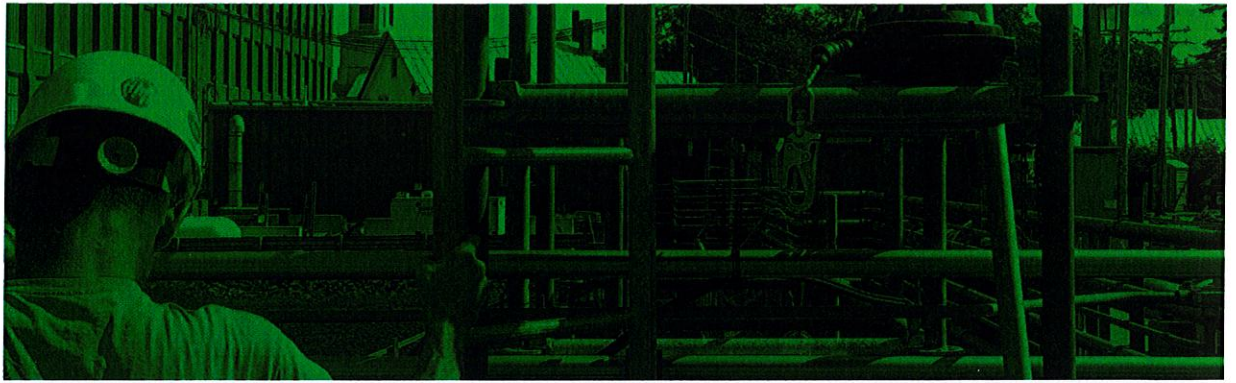
Skowhegan High School's latest addition, constructed by the team at H.E. Callahan, is a brand new elevator. The elevator shaft itself would be constructed as an exterior addition rather than being built inside. This would allow for minimal demolition to the school building. Alongside building new assets to the school, part of our work done on this project included various mechanical improvements to integrate the elevator into the



pre-existing systems. Surrounding the CMU shaft and wooden framing interior of the elevator is a layer of insulation surrounded by an exterior of bricks supplied by Morin Brick, which then transitions into metal siding. The project had been completed within the month of August, allowing for this new elevator to be fully operational just in time for students to return for the school year.





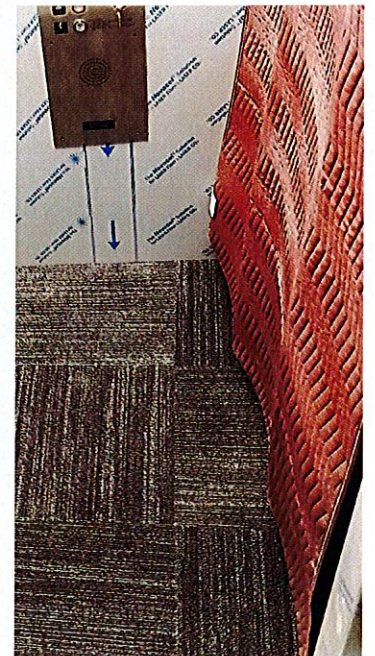
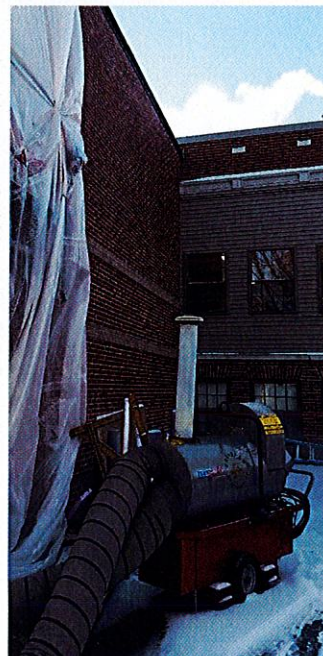


**Project:** *Franklin School Additions & Renovations*  
**Owner:** *Auburn School Department*  
**Architect:** *Bennett Engineering*  
**Contract Value:** *\$1.1MM*  
**Completion:** *December 2021*

The Franklin Alternative School in Auburn is a facility meant to aid students in grades 7-12 who are considered to be at-risk of not graduating. Given the school's stance on providing support to children in need, the addition of an elevator shaft to the building would be in line with their messaging. H.E. Callahan had been brought on to construct the actual elevator, starting with the excavation of land outside the school



to create the base of the new addition. After the base had been constructed, the rest of the elevator could continue to be built from the ground up. The final results would prove to be pleasing for both our team and the Auburn School Department. As the project would come to wrap up production during Winter, it would allow the students the remaining two-thirds of the school year to make use of the new elevator.

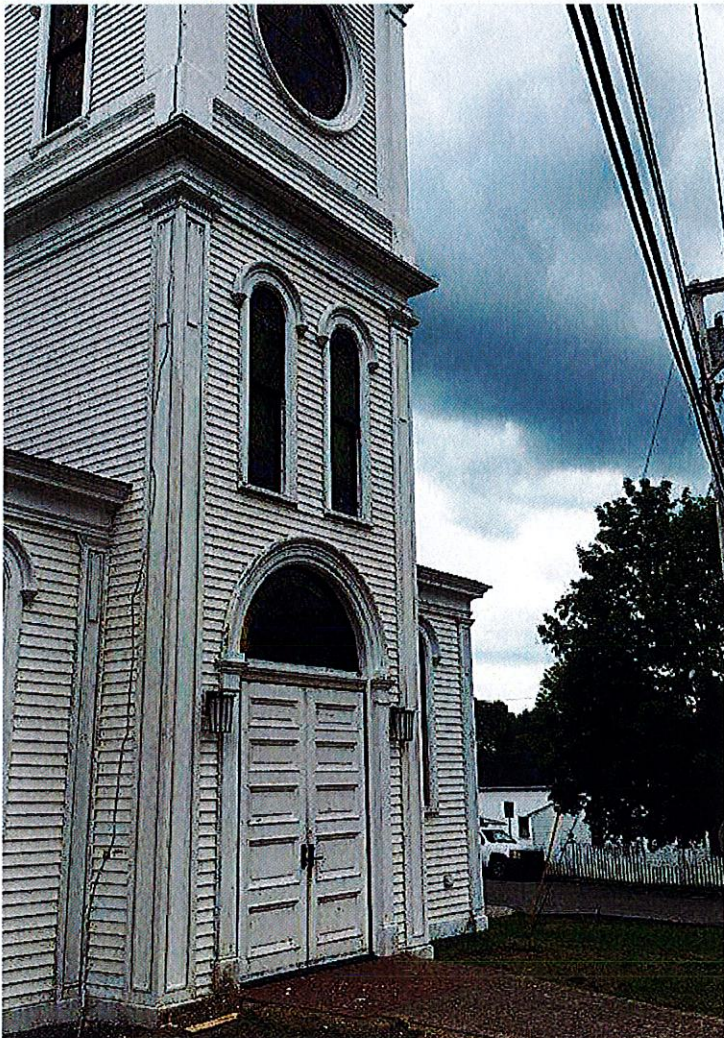




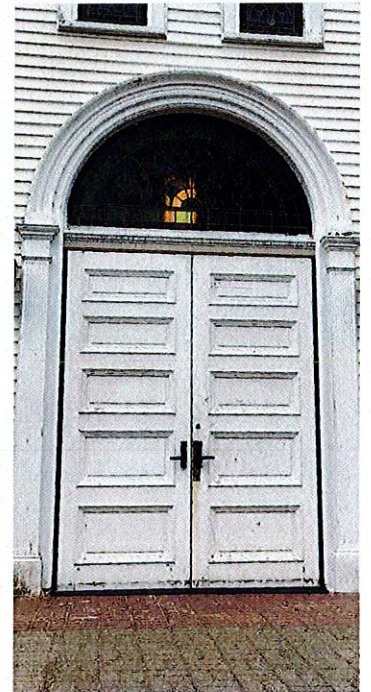


**Project:** Broad Bay Church, Waldoboro  
**Owner:** Broad Bay Congregational United Church of Christ  
**Architect:** Barba + Wheelock Architects  
**Contract Value:** \$2.5 Million  
**Completion:** March 2020

Barba + Wheelock was the Broad Bay Church renovation architecture firm and H.E Callahan was the general contractor for the project. It was an existing church that was built in the late 1800's, and the narthex was built in the early 1900's. In Waldoboro, ME. We were part of the restoration team of the existing narthex. Once the building was raised off its existing brick and granite foundation, we installed a new concrete foundation and all new white oak sill plates and then set it back down.



Once that was done, we removed the existing interior horsehair plaster walls and made way for new insulation and drywall, electrical and heating, and wood framing for the new floors & walls as well as 3 new bathrooms, 3 new sets of stairways, and a new updated grand stair way to make way up to the center of the church with existing handrails and newel post. New millwork done throughout as well as new paint and flooring. Added a small elevator in the building.







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# METHODS & PLAN

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## **PROPOSED CONSTRUCTION PROJECT STRATEGY, METHODOLOGY, AND RESOURCES**

H.E. Callahan's aim is to outline how our plan will efficiently and effectively accomplish the tasks involved while ensuring that your expectations and desired outcomes are met through our services.

### **Strategy and Methodology:**

- 1) Project Scope and Objectives:
  - Clearly define the project scope, objectives, and deliverables.
  - Conduct a thorough analysis of the project requirements and specifications.
  - Establish key milestones and deadlines to track progress effectively.
- 2) Team Structure and Roles:
  - Assemble a dedicated project team with experienced professionals in various disciplines.
  - Assign clear roles and responsibilities to each team member to ensure efficient coordination.
  - Foster effective communication channels between the team, stakeholders, and you.
- 3) Project Planning and Scheduling:
  - Develop a comprehensive project plan, including a detailed schedule with task dependencies using Microsoft Project .
  - Utilize Project Management software (Procore) to track progress, identify bottlenecks, and adjust timelines as needed.
  - Regularly update you on the project's progress, providing detailed reports and status updates.
- 4) Risk Management:
  - Identify potential risks and develop mitigation strategies to minimize their impact on the project.
  - Conduct regular risk assessments to proactively address emerging challenges.
  - Implement quality control measures to ensure compliance with industry standards and regulations.





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## **PROPOSED CONSTRUCTION PROJECT STRATEGY, METHODOLOGY, AND RESOURCES**

### **Resources:**

- 1) Skilled Field Staff:
  - We will provide a highly skilled and experienced team of construction professionals.
  - Our team members have a proven track record in successfully executing similar projects, ensuring the highest quality standards.
- 2) Technological Tools:
  - We will employ cutting-edge construction management software to streamline project documentation, scheduling, and communication.
  - Our technology-driven approach will enhance collaboration, minimize errors, and improve overall efficiency.
- 3) Material and Equipment Procurement:
  - We will leverage our strong network of suppliers and subcontractors to source high-quality materials and equipment.
  - Our procurement process will focus on cost-effectiveness, sustainability, and timely delivery.
- 4) Stakeholder Engagement:
  - We prioritize open and transparent communication with all stakeholders involved in the project.
  - Regular meetings, progress reports, and feedback sessions will ensure alignment of expectations and smooth execution.

By following this strategy and utilizing our available resources, we are confident that we will meet your expectations and deliver the desired outcomes for the construction project.



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## **SUBCONSULTANTS AND SUBCONTRACTORS**

We highly value the expertise and contributions of our subconsultants and subcontractors and believe in fostering strong, local partnerships based on trust and open communication. H.E. Callahan's emphasis is to engage local contractors to maximize their expertise and contribute to the project's success.

During preconstruction, we expect their active participation in project meetings, thorough review of project documents, and involvement in developing their scope of work and cost estimates. We encourage them to share their insights and innovative ideas to shape the project's success. By leveraging local knowledge, we can address any unique challenges and ensure a seamless project execution.

We understand that challenges may arise, and we emphasize open communication to address issues promptly and find suitable solutions. Through this collaborative effort and a shared commitment to quality and timeliness, we aim to create a positive impact on the community and achieve outstanding results.



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## **APPROACH TO UTILIZING LOCAL SUBCONTRACTORS AND MATERIAL VENDORS**

H.E. Callahan's approach to utilizing local subcontractors and material vendors for our projects is outlined below. By leveraging local resources, we can foster community partnerships, reduce costs, and enhance overall project efficiency. Below are the key points of our approach:

- 1) Local Network Development:
  - Identify and establish relationships with reliable local subcontractors and material vendors who meet our project requirements.
  - Maintain an updated database of local contractors and suppliers, including their capabilities, availability, and pricing.
- 2) Prequalification Process:
  - Implement a rigorous prequalification process to ensure that subcontractors and material vendors meet our quality standards and compliance requirements.
  - Assess their experience, financial stability, technical competence, and safety records to ensure suitability for our projects.
- 3) Competitive Bidding:
  - Encourage local subcontractors and material vendors to participate in competitive bidding processes.
  - Create a fair and transparent bidding process that allows local businesses to showcase their capabilities while ensuring value for our projects.
- 4) Collaboration and Communication:
  - Foster open lines of communication with local subcontractors and material vendors to promote collaboration and address any challenges effectively.
  - Regularly engage in meetings, site visits, and progress reviews to ensure project milestones are met.
- 5) Continuous Evaluation:
  - Regularly evaluate the performance of local subcontractors and material vendors based on quality, timeliness, cost-effectiveness, and adherence to safety standards.
  - Maintain feedback mechanisms to ensure accountability and improvement.

By implementing these strategies, we will maximize the benefits of using local subcontractors and material vendors, including reduced logistics costs, improved project coordination, increased community involvement, and enhanced overall project outcomes.





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## **RISK MANAGEMENT APPROACH FOR SCHEDULE, COST, AND PROCUREMENT/DESIGN-ASSIST TRADE PARTNERSHIPS**

Below is H.E. Callahan's approach to risk management concerning schedule, cost, and procurement/design-assist trade partnerships. It is crucial to proactively identify and address potential risks to ensure successful project completion within the desired timeframe and budget while minimizing market and design risks and preserving competitive bidding. Our preferred approaches are as follows:

### **Risk Management for Schedule and Cost:**

- 1) **Identification:** We will conduct a thorough analysis to identify potential risks associated with schedule and cost. This analysis will consider factors such as project complexity, resource availability, external dependencies, and market conditions.
- 2) **Quantification:** Each identified risk will be assessed to determine its potential impact on the project's schedule and cost. We will assign a risk score to prioritize risks based on their severity and likelihood of occurrence.
- 3) **Mitigation:** For high-priority risks, we will develop mitigation strategies to minimize their impact. These strategies may include allocating additional resources, adjusting the project timeline, exploring alternative procurement methods, or implementing contingency plans.
- 4) **Monitoring and Control:** Throughout the project lifecycle, we will closely monitor identified risks and reassess their likelihood and impact. This will allow us to take timely corrective actions and ensure that the project remains on track in terms of schedule and cost.

### **Early Procurement and Design-Assist Trade Partnerships:**

- 1) **Market Risk Mitigation:** To minimize market risks, we will establish early procurement strategies to secure critical materials, equipment, or services well in advance. By engaging with suppliers and contractors early on, we can lock in favorable pricing, mitigate potential supply chain disruptions, and reduce market volatility risks.



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## **RISK MANAGEMENT APPROACH FOR SCHEDULE, COST, AND PROCUREMENT/DESIGN-ASSIST TRADE PARTNERSHIPS**

- 2) **Design Risk Mitigation:** The use of design-assist trade partnerships can significantly mitigate design risks. By involving trade partners during the design phase, we can benefit from their expertise and ensure that the design is feasible, constructible, and cost-effective. Early collaboration with trade partners helps identify potential design conflicts or issues, allowing for timely resolution and minimizing the risk of costly design changes during construction.
- 3) **Competitive Bidding Preservation:** While engaging in early procurement and design-assist partnerships, it is essential to maintain transparency and fair competition. We will establish clear guidelines and procurement processes that promote competitive bidding, ensuring that trade partners are selected based on their qualifications, experience, and value offered.

By implementing these risk management approaches, we aim to minimize schedule and cost overruns, mitigate market and design risks, and maintain a competitive bidding environment. Regular risk assessments and proactive measures will help us navigate challenges effectively, enhancing the overall success of our project



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## **APPROACH TO MINIMIZING CONSTRUCTION IMPACT ON THE SURROUNDING COMMUNITY AND ENSURING PERSONNEL SAFETY**

Below is H.E. Callahan's approach to minimizing the construction impact on the surrounding community and ensuring the safety of all personnel involved in and around the project site. These considerations are crucial for maintaining positive community relations and creating a safe working environment. Our approach is as follows:

### **Community Impact Minimization:**

- 1) **Open Communication:** We will work with the City to establish clear lines of communication with the local community, including residents, businesses, and relevant stakeholders. Regular meetings will inform the Ownership team, newsletters, and online platforms will be utilized to keep the community informed about the project's progress, potential disruptions, and mitigation measures.
- 2) **Noise and Dust Control:** We will implement measures to minimize noise and dust generation, such as using appropriate equipment, employing sound barriers, and regularly monitoring air quality. Construction activities will be scheduled to minimize disturbance during sensitive hours.
- 3) **Traffic Management:** Regular collaboration with the Ownership team and local authorities will minimize congestion and ensure safe traffic flow during construction. Alternative routes and advance notifications will be provided to minimize inconvenience for local residents and businesses.
- 4) **Environmental Protection:** We will adhere to all applicable environmental regulations and employ best practices to mitigate environmental impacts. Measures such as sediment control, erosion prevention, and responsible waste management will be implemented throughout the construction process.





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## **APPROACH TO MINIMIZING CONSTRUCTION IMPACT ON THE SURROUNDING COMMUNITY AND ENSURING PERSONNEL SAFETY**

### **Personnel Safety:**

- 1) **Training and Education:** H.E. Callahan's supervisory personnel carries OSHA 30 certifications while field staff have a minimum OSHA 10 certification. H.E. Callahan's Safety Policy is comprehensive and is shared and reviewed by all team members. Regular safety training is conducted for all onsite personnel ensuring a thorough understanding of safety protocols, hazard identification, and emergency response procedures.
- 2) **Safety Equipment and Measures:** Personal protective equipment (PPE) will be provided to all personnel, and its usage will be strictly enforced. Regular inspections and maintenance of equipment and machinery will be conducted to ensure safe working conditions.
- 3) **Site Security:** Controlled access to the site will be maintained to prevent unauthorized entry. Safety signage, barriers, and designated walkways will be installed to minimize the risk of accidents.
- 4) **Emergency Preparedness:** We will develop and implement an emergency response plan that includes evacuation procedures, first aid facilities, and coordination with local emergency services. Regular drills and safety briefings will be conducted to ensure preparedness for any potential emergencies.

By adopting these approaches, we aim to minimize the construction impact on the surrounding community while prioritizing the safety and well-being of all personnel on and around the site. Continuous monitoring and feedback from the community and project team will allow us to address any concerns promptly and implement necessary adjustments.



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# EXPECTATIONS & RESULTS

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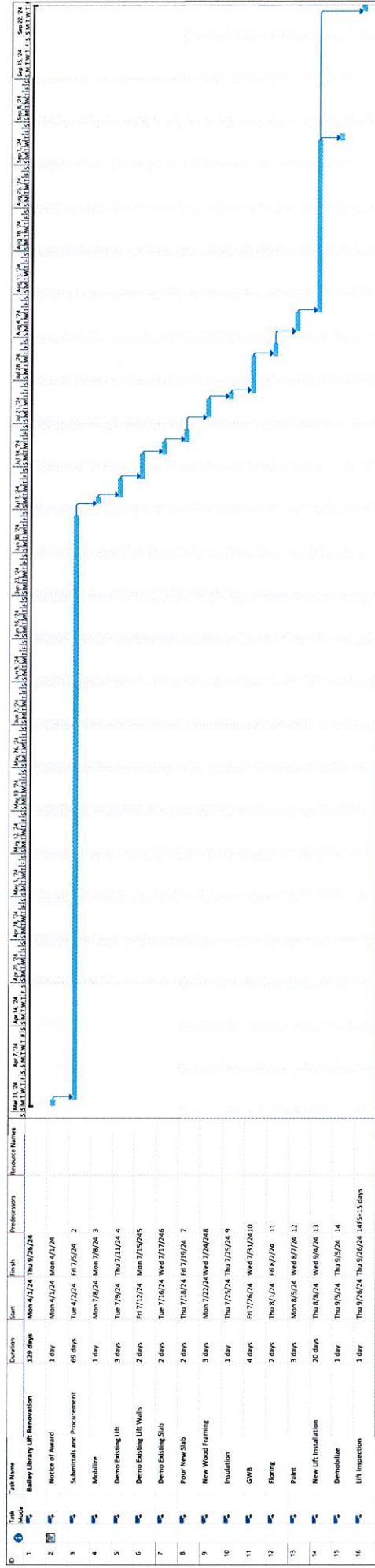
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## SETTING EXPECTATIONS AND ENSURING SUCCESS

In the context of a construction project, it's essential to articulate clear expectations and anticipated outcomes. Firstly, we expect the project to align with the agreed-upon scope, budget, and quality standards, emphasizing thorough planning and coordination to ensure efficient execution with minimal disruptions.

As for the timeline for completion, I foresee a streamlined and effective process. This involves establishing realistic milestones and deadlines, closely monitoring progress, and promptly addressing any potential delays or obstacles that may arise. The procurement of the equipment is pivotal in determining the project's start date. Therefore, expediting the submittal and procurement process is crucial to ensure a smooth and timely commencement of the project.





Project: Preliminary Construct Date: Fri 3/1/24  
 Task: Lift Inspection  
 Milestone:  Inactive Milestone  
 Summary:  Project Summary Inactive Task  
 Manual Task:  Manual Task Inactive Task  
 Manual Summary:  Manual Summary Inactive Task  
 Manual Summary Rollup:  Manual Summary Rollup Inactive Task  
 Start only:  Start only Inactive Task  
 Finish only:  Finish only Inactive Task  
 External Task:  External Task Inactive Task  
 External Milestone:  External Milestone Inactive Task  
 Deadline:  Deadline Inactive Task  
 Program:  Program Inactive Task  
 Manual Program:  Manual Program Inactive Task



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# MANAGEMENT & STAFF

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# Christine Kendall

**PRESIDENT / OWNER**

H.E. Callahan Construction Co. has been thriving under Christine's leadership since she acquired the company in 2015. As the one of the largest female owned construction business in the state of Maine, she proves there is a place for women in Construction.

Active on the Executive Board of the Association of General Contractors, Christine is engaged in Workforce Development and the changing Contractor requirements within the State of Maine.

Through her career she's been involved in several iconic projects that helped form the state. The construction of the Alford Center for Health, the Redevelopment of the old Augusta and Waterville Hospitals to name a few. Her experience working with development teams gives her an understanding of project viability prior to commitment.

In 2021 she started an Architectural Firm to offer turnkey services to H.E. Callahan Construction clients who approached her with a concept to execute. This gives the team the ability to take a project from concept through construction seamlessly, improving the experience for the end user. Christine has 28 years of construction experience and a particular expertise with contracting delivery methods.

## RELEVANT EXPERIENCE

Sunday River Barker 6  
Ski Lift  
Newry, Maine  
\$5.1MM

Sunday River Jordan 8  
Ski Lift  
Newry, Maine  
\$4.3MM

Ballard Center Redevelopment  
Commercial Redevelopment  
Augusta, ME  
\$22MM

W.G. Mallett School  
New Elementary School  
Farmington, ME  
\$12MM

## EDUCATION

Rensselaer Polytechnic Institute, BS Materials Engineering

## ORGANIZATIONS

Vice President - Association of General Contractors  
American Society for Healthcare Engineers  
CMCC Advisory Board, Building Construction Technology

## ACHIEVEMENTS

Sugarloafer since 1984  
Marathoner  
Half Ironman Finisher

*"I love to watch my team grow in their abilities and in their confidence. I enjoy seeing people achieve things that they didn't think were possible."*



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# Mike Walsh

## PROJECT MANAGER

With experience in the project management industry, Michael is the project manager that will ensure success in every level of construction for its clients at H.E. Callahan. Working with family in the trades made Michael proficient at an early age. After completing his degree at the New England School of communications and earning his Commission in the Maine Army National Guard (MEARNG) he worked in the trades until taking a full-time position in project management in logistics in the MEARNG.

Today, Michael has over 9 years of construction experience and 5 years of project management experience. He is currently overseeing projects such as the MSAD #54 elevator addition onto the Skowhegan Area High School, as well as a Façade replacement on the University of Maine Farmington Fitness Center and restorations for the Oxford County Jail.

As Project Manager & Estimator, Michael is dedicated to producing the best possible product for his clients. From start to finish, Michael handles many things including detailed estimates; working directly with architects, owners, project superintendents, and subcontractors; procuring materials; project scheduling; and managing any issues that arise. He especially enjoys tackling challenges and following through to ensure success

In his free time, Michael Commands the 152 Support Maintenance Company in the MEARNG and in the fall he hunts with is dog Willow.

## EDUCATION

New England School of Communications  
Husson University  
Bachelors in Science

## CERTIFICATIONS / TRAINING

LSS Green Belt  
OSHA 30

## RELEVANT EXPERIENCE

Skowhegan High School  
MSAD#54 Elevator Addition  
*Skowhegan, Maine*  
\$840,000

Weston Dam  
Dam Repair  
*Skowhegan, Maine*  
\$380,000

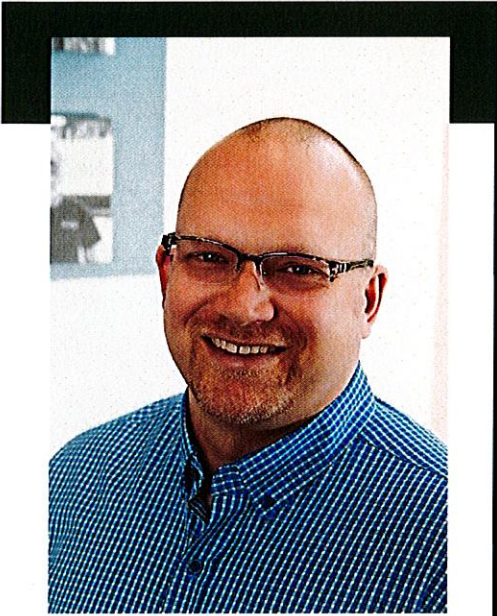
Seboomook Dam  
Dam Repair  
*Seboomook, Maine*  
\$1.3MM

Oxford County Jail  
HVAC and Electrical Renovations  
*South Paris, Maine*  
\$3.6MM



Cell Phone: 207-572-3400  
E-mail: [mwalsh@hecallahan.com](mailto:mwalsh@hecallahan.com)





# Jackson W. White

## ESTIMATOR

Jackson is a highly skilled construction professional who recently joined the H. E. Callahan team. As an esteemed member of our team since June 2021, Jackson brings a wealth of experience in project management and estimating, gained during his tenure as a Project Manager and Estimator for a local commercial millwork company.

With over 16 years in the construction industry, Jackson's journey began as an apprentice cabinetmaker and evolved into overseeing notable projects such as Camden Rockport Middle School, Saccarappa Elementary School, and Norway Savings Bank. His contributions to these projects have been marked by meticulous attention to detail and an unwavering commitment to delivering the best possible results.

Jackson's organizational and management skills are truly exemplary, allowing him to effectively navigate complex projects and ensure timely completion while staying within budgetary constraints. Furthermore, his strong quality-conscious approach guarantees that all deliverables meet the highest standards of workmanship.

Aside from his accomplishments, Jackson prioritizes quality time with family. Whether it's gathering around the TV to cheer on the Florida Gators or heading to the stadium, the passion for the game and the shared company with his loved ones make these experiences truly unforgettable.

### NOTABLE EXPERIENCE

Walton's Mill Dam  
Dam Removal and  
Park Redevelopment  
*Farmington, ME*  
\$1.5 MM

CMP East Wilton  
Demolition & New CMU Wall  
*Bangor, ME*  
\$920 K

Promise Early Education/  
Lewiston Housing Authority  
Daycare Renovation  
*Lewiston, ME*  
\$1.5 MM

Hydroelectric Projects  
Overhauls and Resurfacing  
*Various Locations, ME*  
\$940 K annual volume

### EDUCATION

University of Southern Maine, Bachelors of Science

### CERTIFICATIONS / TRAINING

OSHA 30  
CPR/First Aid



Cell Phone: 207-713-4092  
E-mail: [jwhite@hecallahan.com](mailto:jwhite@hecallahan.com)

# Craig Belliveau

## SUPERINTENDENT



### NOTABLE EXPERIENCE

Kennebec County Correctional Facility  
Augusta, ME

Right Intake Repair Wall  
Rumford, ME

Sugar Bowl  
Carrabassett Valley, ME

MDI Maternity Suite Renovations  
Mount Desert Island, Maine

Rehabilitation Renovations/  
Addition  
Rangeley Region Health Care Center  
Rangeley, Maine

Bates College, Rand Village  
Structural Steel Erection  
Lewiston, ME

Craig Belliveau has been with H.E. Callahan Construction Co. since 1992. Craig has been H.E. Callahan's lead Superintendent for our Heavy Civil / Hydroelectric Division. From Central Maine Power, FPLE, and Brookfield, Craig leads an exceptional team of skilled and safety conscious tradesmen.

Currently, Craig is working at the Kennebec County Correctional Facility finishing up a renovation project.

### RECENT EXPERIENCE

Right Intake Repair Wall, Rumford  
Eel ladder, W. Buxton  
Eel Passage, Bar Mills  
East Outlet Tainter Gate  
Webber Pond Stop Log  
FPLE Energy Brassua, Guide Installation & Pier Repair  
FPLE Wyman Stanchion Section Bay  
FPL Energy Wyman, Stanchion Section II  
FPL Energy Brassua, North Abutment Wall & Pier Repairs  
FPLE Skelton Tainter Gate Overhaul, Brassua Dam Phase V  
FPLE Wyman Needle Beam Replacement

### PAST EXPERIENCE

#### Central Maine Power Company

Windsor, Guilford, Skowhegan, Clinton, South Portland, Kezar Falls, Red Brook, Detroit, Berwick, and Saco

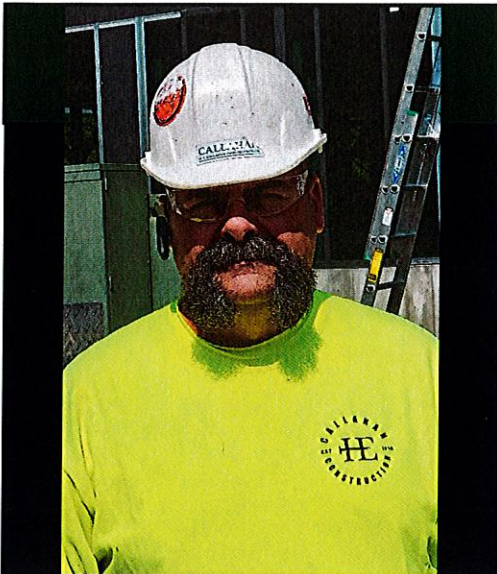
#### FPL Energy

Lockwood, Skowhegan, Waterboro, Wyman Hydro, Deer Rips, Rice Rips, Bonny Eagle, Gulf Island, Indian Pond, Bar Mills, Hollis, Shawmut, Skelton Hydro in Union Falls (Hollis), Flagstaff, and Ledgemere hydroelectric stations; emergency repair of M5 dam in Waterville; Fish Passage at Bar Mills; Brassua Dam in Rockwood; Brassua Dam, Rockwood, Maine – Spillway Resurfacing



Phone: 207-784-6927  
E-mail: [cbelliveau@hecallahan.com](mailto:cbelliveau@hecallahan.com)





# Jeff Cayer

## SUPERINTENDENT

Jeff's journey at H.E. Callahan demonstrates his consistent dedication and exceptional skills. Since joining our team in 1991 after his military service, Jeff seamlessly transitioned into the construction industry, where he has shown unyielding commitment and expertise. Climbing from a laborer to the respected position of superintendent, his progression reflects not only personal growth but also his significant contributions to our company's success.

Outside of work, Jeff finds solace and fulfillment in the great outdoors. As a leader in the Boy Scouts, he imparts valuable skills and lessons to the next generation. Additionally, Jeff indulges his passion for shooting as a gun enthusiast, often venturing into the woods for target practice on his free days. His commitment to both his professional responsibilities and personal interests underscores his well-rounded character and makes him an invaluable member of our team at H.E. Callahan.

### RELEVANT EXPERIENCE

UMF Fitness and Rec Center  
Façade Replacement  
*Farmington, ME*  
\$700k

Sunday River Barker 6  
Ski Lift  
\$6.03MM  
*Newry, Maine*

Central Maine Power  
Threshold Repair  
*Augusta, ME*  
\$360k

Safe Voices  
Renovation  
*Farmington, ME*  
\$1.4MM

### SKILLS

Teamwork  
Leadership  
Problem Solving  
Carpentry  
Concrete  
Steel Work  
Finishes

### CERTIFICATIONS / TRAINING

Traffic Control Training  
OSHA 30  
Fall Protection  
Crane Signal Person Course  
CPR and First Aid Training  
Crane Operator  
Forklift Certified



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E-mail: [jcayer@hecallahan.com](mailto:jcayer@hecallahan.com)



**AGC MAINE**  
THE CONSTRUCTION ASSOCIATION

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# COMMUNICATION

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## COMMUNICATION STRATEGIES FOR PROJECT SUCCESS

Our project team intends to establish a comprehensive communication plan to keep Mr. Fortin apprised of all progress and developments.

Our approach will involve regular updates through various channels, including weekly meetings and benchmark discussions with project managers and owners. These meetings will provide opportunities to review project milestones, address any concerns or challenges, and align on next steps. Additionally, we will utilize email updates, progress reports, and scheduled site visits to ensure that Mr. Fortin remains informed and involved throughout the project lifecycle.

Furthermore, we recognize the importance of proactive communication and will promptly notify Mr. Fortin of any significant changes, delays, or unforeseen issues that may arise. By fostering transparent and collaborative communication, we aim to uphold accountability, mitigate risks, and ultimately deliver a successful project that meets the expectations of all stakeholders.





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# BUDGET & COSTS

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H.E. Callahan Construction Co  
PO Box 677  
Auburn, ME  
04212, US  
2077846927

Prepared By:  
Jackson White  
(207) 713-4092  
jwhite@hecallehan.com

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Project: **00731 - Lift Renovation for the Bailey Public Library in Winthrop, ME**

### Scope of Work

#### 01 General Requirements

Material Cost	Labor Cost and/or Adjustments	Total Cost
\$10,575.00	\$30,270.00	\$40,845.00

#### 02 Demolition

Material Cost	Labor Cost and/or Adjustments	Total Cost
\$560.33	\$7,687.66	\$8,247.99

#### 03 Concrete

Material Cost	Labor Cost and/or Adjustments	Total Cost
\$1,005.58	\$1,677.82	\$2,683.40

#### 06 Wood Framing

Material Cost	Labor Cost and/or Adjustments	Total Cost
\$195.00	\$2,040.85	\$2,235.85

#### 07 Insulation

Material Cost	Labor Cost and/or Adjustments	Total Cost
\$400.00	\$289.37	\$689.37



09 Finishes

Material Cost	Labor Cost and/or Adjustments	Total Cost
\$13,608.85	\$1,062.45	\$14,671.30

14 Conveyance Equipment

Material Cost	Labor Cost and/or Adjustments	Total Cost
\$94,927.38	\$0.00	\$94,927.38

26 Electrical

Material Cost	Labor Cost and/or Adjustments	Total Cost
\$10,000.00	\$0.00	\$10,000.00

\* Tax not applied to part or subcomponent

Notes

Summary

Price		Taxes	
Labor and Adjustments	\$43,028.15	Labor and Adjustments Tax	\$0.00
Materials	\$10,624.76	Material Tax	\$0.00
Equipment	\$2,920.00	Equipment Tax	\$0.00
Subcontractor	\$117,727.38	Subcontractor Tax	\$0.00
Profit	\$17,430.03	<b>Total Taxes</b>	<b>\$0.00</b>
<b>Subtotal</b>	<b>\$191,730.32</b>		
Others			
Bonding	\$3,834.61		
ST&S	\$3,834.61		
Round Up	\$0.47		
<b>Total Others</b>	<b>\$7,669.68</b>		





Quote: 1006 / Date: 3/1/2024  
Project Number: 00731

\$199,400.00

Accepted By

Date

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# LICENSING, BONDING, & INSURANCE

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# BID BOND

# Frankenmuth Insurance Company

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**CONTRACTOR:**

*(Name, legal status and address)*

**HE Callahan Construction Co.**  
2664 Turner Road  
Auburn, ME 04212

**OWNER:**

*(Name, legal status and address)*

**Town of Winthrop**  
17 Highland Avenue  
Winthrop, ME 04364

**SURETY:**

*(Name, legal status and principal place of business)*

**Frankenmuth Insurance Company**

**BOND AMOUNT:** 5 percent of bid amount

**PROJECT:**

*(Name, location or address, and Project number, if any)*

**Library Lift Renovation at Bailey Public Library in Winthrop**  
39 Bowdoin Street  
Winthrop, ME 04364

The Contractor and Surety are bound to the Owner in the amount set forth above, for the payment of which the Contractor and Surety bind themselves, their heirs, executors, administrators, successors and assigns, jointly and severally, as provided herein. The conditions of this Bond are such that if the Owner accepts the bid of the Contractor within the time specified in the bid documents, or within such time period as may be agreed to by the Owner and Contractor, and the Contractor either (1) enters into a contract with the Owner in accordance with the terms of such bid, and gives such bond or bonds as may be specified in the bidding or Contract Documents, with a surety admitted in the jurisdiction of the Project and otherwise acceptable to the Owner, for the faithful performance of such Contract and for the prompt payment of labor and material furnished in the prosecution thereof; or (2) pays to the Owner the difference, not to exceed the amount of this Bond, between the amount specified in said bid and such larger amount for which the Owner may in good faith contract with another party to perform the work covered by said bid, then this obligation shall be null and void, otherwise to remain in full force and effect. The Surety hereby waives any notice of an agreement between the Owner and Contractor to extend the time in which the Owner may accept the bid. Waiver of notice by the Surety shall not apply to any extension exceeding sixty (60) days in the aggregate beyond the time for acceptance of bids specified in the bid documents, and the Owner and Contractor shall obtain the Surety's consent for an extension beyond sixty (60) days.

If this Bond is issued in connection with a subcontractor's bid to a Contractor, the term Contractor in this Bond shall be deemed to be Subcontractor and the term Owner shall be deemed to be Contractor.

When this Bond has been furnished to comply with a statutory or other legal requirement in the location of the Project, any provision in this Bond conflicting with said statutory or legal requirement shall be deemed deleted herefrom and provisions conforming to such statutory or other legal requirement shall be deemed incorporated herein. When so furnished, the intent is that this Bond shall be construed as a statutory bond and not as a common law bond.



Signed and sealed this 1st day of March, 2024.

Jonica Poole  
(Witness)

Carrie Helbert  
(Witness)

**HE Callahan Construction Co.**

Christine Kendall  
(Principal) (Seal)

**President, Christine Kendall**  
(Title)

**Frankenmuth Insurance Company**

Wendy T. Pomeroy  
(Surety) Wendy T. Pomeroy (Seal)

**Attorney-In- Fact**  
(Title)

**FRANKENMUTH INSURANCE COMPANY**

**POWER OF ATTORNEY**

**KNOW ALL MEN BY THESE PRESENTS**, that Frankenmuth Insurance Company (the "Company"), a corporation duly organized and existing under the laws of the State of Michigan, having its principal office at 1 Mutual Avenue, Frankenmuth, Michigan 48787, does hereby nominate, constitute and appoint:

Wendy Pomeroy, Flint Christie, Jennifer F. Bjorn

Their true and lawful attorney(s)-in-fact, each in their separate capacity if more than one is named above, to make, execute, seal, acknowledge and deliver any and all bonds, contracts and undertakings of suretyship, with the exception of Financial Guaranty Insurance, provided, however, that the penal sum of any one such instrument shall not exceed the sum of:

**Fifty Million and 00/100 Dollars (\$50,000,000)**

This Power of Attorney is granted pursuant to the following Resolution duly adopted at a meeting of the Board of Directors of Frankenmuth Insurance Company:

"**RESOLVED**, that the President, Senior Vice President or Vice President and each of them under their respective designations, hereby is authorized to execute powers of attorney, and such authority can be executed by use of facsimile signature, which may be attested or acknowledged by any officer of the Company, qualifying the attorney(s) named in the given power of attorney, to execute on behalf of, and acknowledge as the act and deed of Frankenmuth Insurance Company on all bonds, contracts and undertakings of suretyship, and to affix the corporate seal thereto."

**IN WITNESS WHEREOF**, the Company has caused these presents to be signed and attested by its appropriate officers and its corporate seal hereunto affixed this 17 day of November 2023.



**Frankenmuth Insurance Company**

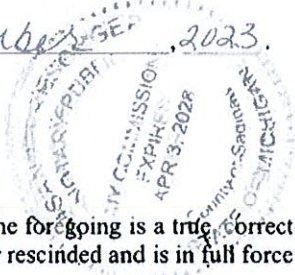
By Andrew H. Knudsen  
Andrew H. Knudsen  
President, Chief Operating Officer and Secretary

STATE OF MICHIGAN )  
COUNTY OF SAGINAW ) ss:

Sworn to before me, a Notary Public in the State of Michigan, by Andrew H. Knudsen, to me personally known to be the individual and officer described in, and who executed the preceding instrument, deposed and said the Corporate Seal and his signature as Officer were affixed and subscribed to said instrument by the authority of the Company.

**IN TESTIMONY WHEREOF**, I have set my hand, and affixed my Official Seal this 17 day of November, 2023.

Susan L. Fresorger (Seal)  
Susan L. Fresorger, Notary Public  
Saginaw County, State of Michigan  
My Commission Expires: April 3, 2028



I, the undersigned, Chief Executive Officer of Frankenmuth Insurance Company, do hereby certify that the foregoing is a true, correct and complete copy of the original Power of Attorney; that said Power of Attorney has not been revoked or rescinded and is in full force and effect as of this date.

**IN WITNESS WHEREOF**, I have set my hand and affixed the Seal of the Company, this 1st day of March, 2024.

Frederick A. Edmond, Jr.  
Frederick A. Edmond, Jr.  
Chief Executive Officer

**ALL CORRESPONDENCE RELATED TO BOND VALIDATION AND/OR A CLAIM SHOULD BE DIRECTED TO VP SURETY, 701 U.S. ROUTE ONE, SUITE 1, YARMOUTH, ME 04096**



Frankenmuth Insurance Company  
Ansur America Insurance Company  
Patriot Life Insurance Company  
Patriot Insurance Company

**SURETY BOND SEAL ADDENDUM**  
Frankenmuth Insurance Company

Due to logistical issues associated with the use of traditional seals during the COVID-19 pandemic, Frankenmuth Insurance Company has authorized its Attorneys-in-Fact to affix Frankenmuth Insurance Company's, corporate seal to any bond executed on behalf of Frankenmuth Insurance Company, by any such Attorney-in-Fact, by attaching this Addendum to said bond.

Through December 31, 2024, to the extent this Addendum is attached to a bond that is executed on behalf of Frankenmuth Insurance Company, by its Attorney-in-Fact, Frankenmuth Insurance Company, hereby agrees that the seal below shall be deemed affixed to said bond to the same extent as if its raised corporate seal was physically affixed to the face of the bond.

Dated this 1st day of March, 2024.



Sign: Wendy Pomeroy  
Attorney-in-fact Wendy Pomeroy





HECALLA-01

WPOMEROY

# CERTIFICATE OF LIABILITY INSURANCE

DATE (MM/DD/YYYY)  
2/28/2024

THIS CERTIFICATE IS ISSUED AS A MATTER OF INFORMATION ONLY AND CONFERS NO RIGHTS UPON THE CERTIFICATE HOLDER. THIS CERTIFICATE DOES NOT AFFIRMATIVELY OR NEGATIVELY AMEND, EXTEND OR ALTER THE COVERAGE AFFORDED BY THE POLICIES BELOW. THIS CERTIFICATE OF INSURANCE DOES NOT CONSTITUTE A CONTRACT BETWEEN THE ISSUING INSURER(S), AUTHORIZED REPRESENTATIVE OR PRODUCER, AND THE CERTIFICATE HOLDER.

**IMPORTANT:** If the certificate holder is an ADDITIONAL INSURED, the policy(ies) must have ADDITIONAL INSURED provisions or be endorsed. If SUBROGATION IS WAIVED, subject to the terms and conditions of the policy, certain policies may require an endorsement. A statement on this certificate does not confer rights to the certificate holder in lieu of such endorsement(s).

<b>PRODUCER</b> The Kyes Agency, Inc. 171 Main Street Farmington, ME 04938	<b>CONTACT NAME:</b> Wendy Pomeroy <b>PHONE (A/C, No., Ext):</b> (207) 778-9862 <b>E-MAIL ADDRESS:</b>	<b>FAX (A/C, No.):</b> (207) 778-5970
	<b>INSURER(S) AFFORDING COVERAGE</b>	
<b>INSURED</b> HE Callahan Construction Co. HEC Inc P O Box 677 Auburn, ME 04212	<b>INSURER A : Travelers Insurance Company</b>	
	<b>INSURER B : Charter Oak Fire Ins. Co.</b>	
	<b>INSURER C : Travelers Property Casualty Co</b>	
	<b>INSURER D : Maine Employers' Mutual Ins.</b>	
	<b>INSURER E :</b>	
	<b>INSURER F :</b>	

**COVERAGES**                      **CERTIFICATE NUMBER:**                      **REVISION NUMBER:**

THIS IS TO CERTIFY THAT THE POLICIES OF INSURANCE LISTED BELOW HAVE BEEN ISSUED TO THE INSURED NAMED ABOVE FOR THE POLICY PERIOD INDICATED. NOTWITHSTANDING ANY REQUIREMENT, TERM OR CONDITION OF ANY CONTRACT OR OTHER DOCUMENT WITH RESPECT TO WHICH THIS CERTIFICATE MAY BE ISSUED OR MAY PERTAIN, THE INSURANCE AFFORDED BY THE POLICIES DESCRIBED HEREIN IS SUBJECT TO ALL THE TERMS, EXCLUSIONS AND CONDITIONS OF SUCH POLICIES. LIMITS SHOWN MAY HAVE BEEN REDUCED BY PAID CLAIMS.

INSR LTR	TYPE OF INSURANCE	ADDL INSD	SUBR WVD	POLICY NUMBER	POLICY EFF (MM/DD/YYYY)	POLICY EXP (MM/DD/YYYY)	LIMITS
A	<input checked="" type="checkbox"/> <b>COMMERCIAL GENERAL LIABILITY</b> <input type="checkbox"/> CLAIMS-MADE <input checked="" type="checkbox"/> OCCUR  GEN'L AGGREGATE LIMIT APPLIES PER: <input type="checkbox"/> POLICY <input checked="" type="checkbox"/> PRO-JECT <input type="checkbox"/> LOC OTHER:			DT-CO-2R498369-IND-23	11/3/2023	11/3/2024	EACH OCCURRENCE \$ <b>1,000,000</b> DAMAGE TO RENTED PREMISES (Ea occurrence) \$ <b>200,000</b> MED EXP (Any one person) \$ <b>10,000</b> PERSONAL & ADV INJURY \$ <b>1,000,000</b> GENERAL AGGREGATE \$ <b>2,000,000</b> PRODUCTS - COMP/OP AGG \$ <b>2,000,000</b>
B	<input checked="" type="checkbox"/> <b>AUTOMOBILE LIABILITY</b> <input checked="" type="checkbox"/> ANY AUTO <input type="checkbox"/> OWNED AUTOS ONLY <input type="checkbox"/> SCHEDULED AUTOS <input type="checkbox"/> HIRED AUTOS ONLY <input type="checkbox"/> NON-OWNED AUTOS ONLY			BA-2R498831-21-26-G	11/3/2023	11/3/2024	COMBINED SINGLE LIMIT (Ea accident) \$ <b>1,000,000</b> BODILY INJURY (Per person) \$ BODILY INJURY (Per accident) \$ PROPERTY DAMAGE (Per accident) \$
C	<input checked="" type="checkbox"/> <b>UMBRELLA LIAB</b> <input checked="" type="checkbox"/> OCCUR <input type="checkbox"/> EXCESS LIAB <input type="checkbox"/> CLAIMS-MADE <input type="checkbox"/> DED <input checked="" type="checkbox"/> RETENTION \$ <b>10,000</b>			CUP-2R500124-21-26	11/3/2023	11/3/2024	EACH OCCURRENCE \$ <b>10,000,000</b> AGGREGATE \$ <b>10,000,000</b>
D	<input checked="" type="checkbox"/> <b>WORKERS COMPENSATION AND EMPLOYERS' LIABILITY</b> ANY PROPRIETOR/PARTNER/EXECUTIVE OFFICER/MEMBER EXCLUDED? (Mandatory in NH) <input type="checkbox"/> Y/N If yes, describe under DESCRIPTION OF OPERATIONS below		N/A	1810109436	11/1/2023	11/1/2024	<input checked="" type="checkbox"/> PER STATUTE <input type="checkbox"/> OTH-ER E.L. EACH ACCIDENT \$ <b>1,000,000</b> E.L. DISEASE - EA EMPLOYEE \$ <b>1,000,000</b> E.L. DISEASE - POLICY LIMIT \$ <b>1,000,000</b>

DESCRIPTION OF OPERATIONS / LOCATIONS / VEHICLES (ACORD 101, Additional Remarks Schedule, may be attached if more space is required)

RE: Library lift Renovations at Bailey Public library at 39 Bowdoin Street Winthrop, ME  
Bid Date for this project 3/1/2024

**CERTIFICATE HOLDER**

**CANCELLATION**

Town of Winthrop  
 17 Highland Avenue  
 Winthrop, ME 04364

SHOULD ANY OF THE ABOVE DESCRIBED POLICIES BE CANCELLED BEFORE THE EXPIRATION DATE THEREOF, NOTICE WILL BE DELIVERED IN ACCORDANCE WITH THE POLICY PROVISIONS.

AUTHORIZED REPRESENTATIVE  
*Wendy Pomeroy*



**AGC MAINE**  
THE CONSTRUCTION ASSOCIATION

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# REFERENCES

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**AGC MAINE**  
THE CONSTRUCTION ASSOCIATION

**Legend**

Construction Manager **CM**  
 General Contractor **GC**  
 Design-Build **DB**  
 Subcontractor **SUB**

**Construction Management References**

Project	Client	Architect / Engineer	
<b>Jordan 8 and Barker 6,            Sunday River Skiway</b> \$4.3MM - \$5.1MM Start: 04/23 Super: Marc L./Gabe P.	<b>Sunday River Skiway</b> PO Box 4500 Newry, ME 04261 Peter Roberts (207) 860-0360	<b>Bull Stockwell Allen</b> 300 Montgomery Suite 600 San Fransisco, CA 94101 Chris Miller (415) 281-4720	<b>CM</b>
<b>MRI Renovations,            MDI Hospital</b> \$1,400,000 Start: 07/22 Super: Tom St. Claire	<b>MDI Hospital</b> 10 Wyman Lane Bar Harbor, ME 04609 Doug Springer (207) 266-1019	<b>HEC+A</b> PO Box 677 Auburn, ME 04210 Matt McClenahan (207) 784-6927	<b>CM</b>
<b>Exterior Wall,            BJ's Bangor</b> \$800,000 Start: 03/22 Finish: 4/22 Super: Craig Belliveau	<b>Longview Plaza, LLC</b> 128 State St #3 Augusta, ME 04330 Scott Haley (617) 447-4289	<b>Scott Griffin Architects</b> 880 Main St, 5th Floor Waltham, MA 04241	<b>CM</b>
<b>Renovations,            MaineHealth Cardiology</b> \$209,000 Start: 03/22 Super: Jeff Cayer	<b>St. Mary's Regional            Medical Center</b> 93 Campus Avenue Lewiston, ME 04240 Jenn Hale (207) 777-8341	<b>SMRT</b> 144 Fore Street Portland, ME 04101 Derek Veilleux (207) 321-3834	<b>CM</b>
<b>New Fire Station,            Carrabassett Valley</b> \$1,400,000 Start: 05/20 Finish: 10/20 Super: Justin Hasch	<b>Town of            Carrabassett Valley</b> 1001 Carriage Road Carrabassett Valley, ME 04947 Dave Cota (207) 235-2645	<b>Plymouth Engineering</b> PO Box 46 Plymouth, ME 04969 Scott Braley (207) 257-2071	<b>CM</b>
<b>Phase I,            Broad Bay Church</b> \$750,000 Start: 12/19 Finish: 04/20 Super: Marc Leblond	<b>Broad Bay            Congregational United</b> 941 Main Street Waldoboro, ME Brian Scheuzger	<b>Barba + Wheelock</b> 18 Pleasant Street Portland, ME 04101 Nancy Barba (207) 772-2722	<b>CM</b>





**AGC MAINE**  
THE CONSTRUCTION ASSOCIATION

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# END OF DOCUMENT

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